

DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS

AT

14 VALLEY RD, PADSTOW HEIGHTS

FOR

Ms. DELIMANIS

ARCHITECTURAL DRAWING LIST

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ISSUE B - REV 2 - 06/07/2026
- UPDATED SURVEY

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Ms. DELIMANIS

PROJECT
ALTERATIONS & ADDITIONS

DRAWING TITLE
COVER SHEET

ADDRESS
14 VALLEY RD, PADSTOW
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PROJECT STATUS
DEVELOPMENT APPLICATION

SHEET NO:	00	ISSUE:	B
SCALE:	1 : 1@A3	JOB NO:	888-1847
DESIGN:	DP	DRAWN:	DP
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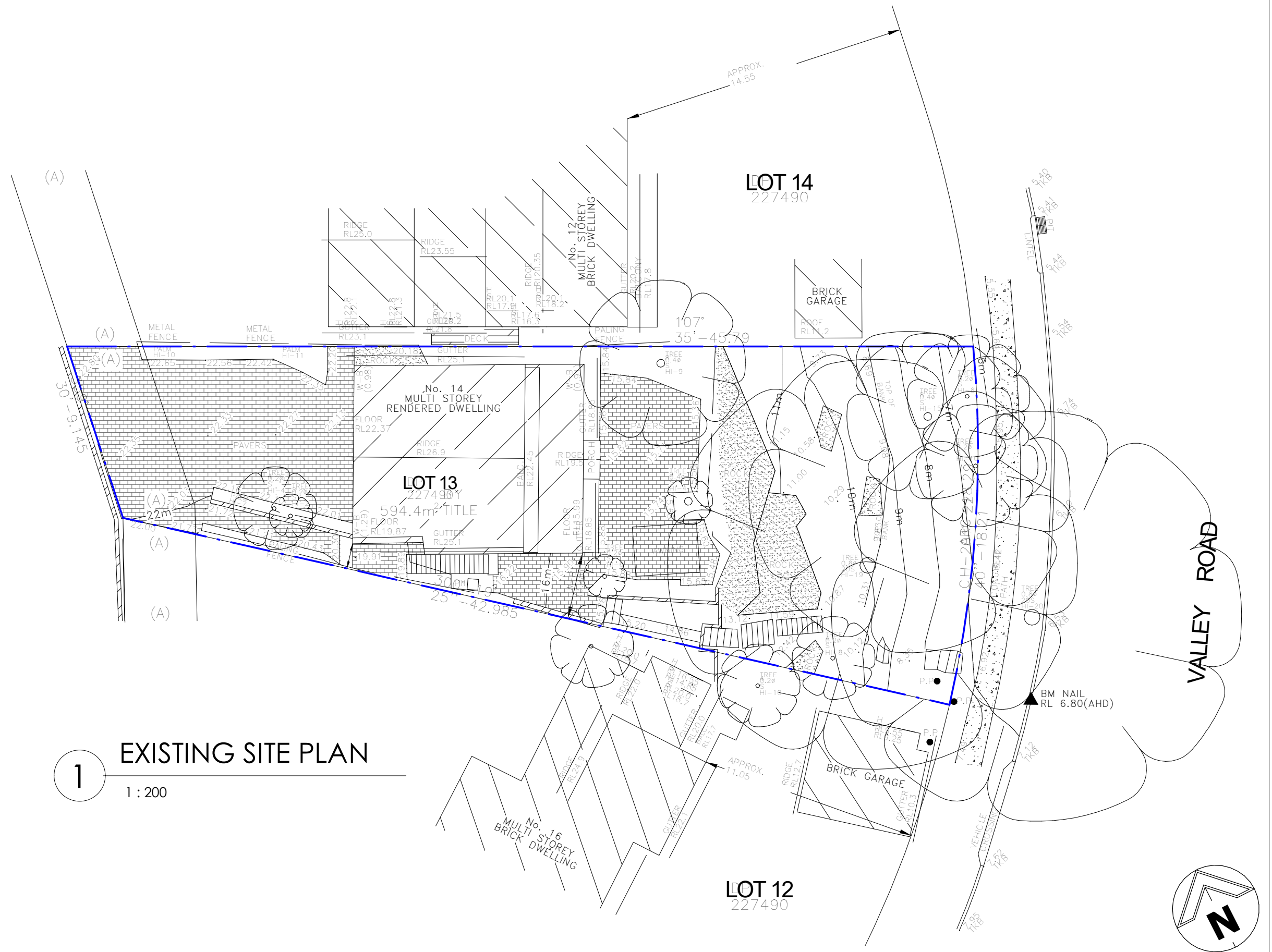
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EXISTING - SITE CALCULATIONS	
ZONE	R2
SITE AREA	594.4m ²
FLOOR AREA	
GROUND FLOOR AREA	73.25m ²
FIRST FLOOR AREA	55.50m ²
SECOND FLOOR AREA	68.66m ²
TOTAL FLOOR AREA	
	197.41m ²
EXISTING FSR	0.33:1
MAX PERMISSIBLE	0.5:1
SITE COVERAGE	
FOOTPRINT	110.09m ²
HARD STAND AREA	208.88m ²
LANDSCAPE AREA	276.23m ²
LANDSCAPE AREA %	46.47%



1 EXISTING SITE PLAN
1 : 200

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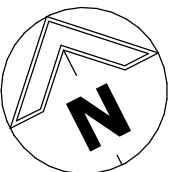
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EXISTING FLOOR PLANS

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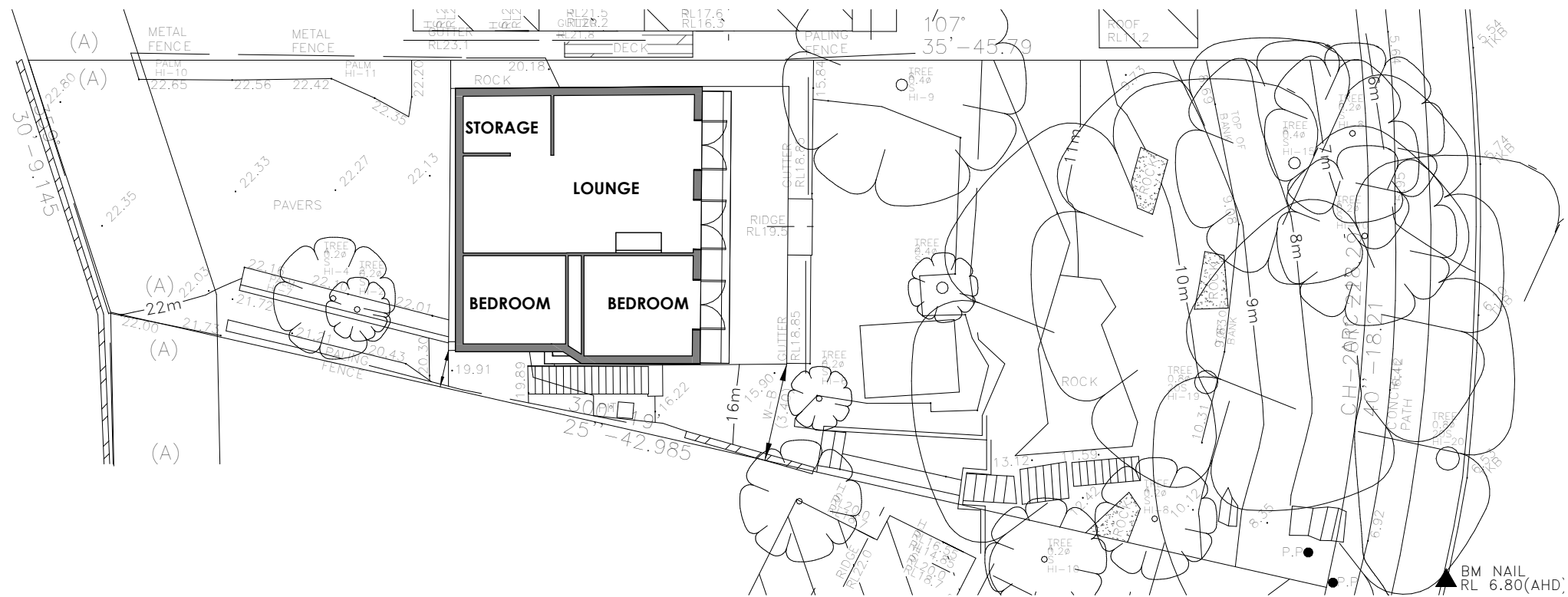
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1 EXISTING SECOND FLOOR PLAN
1 : 200

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EXISTING FLOOR PLAN

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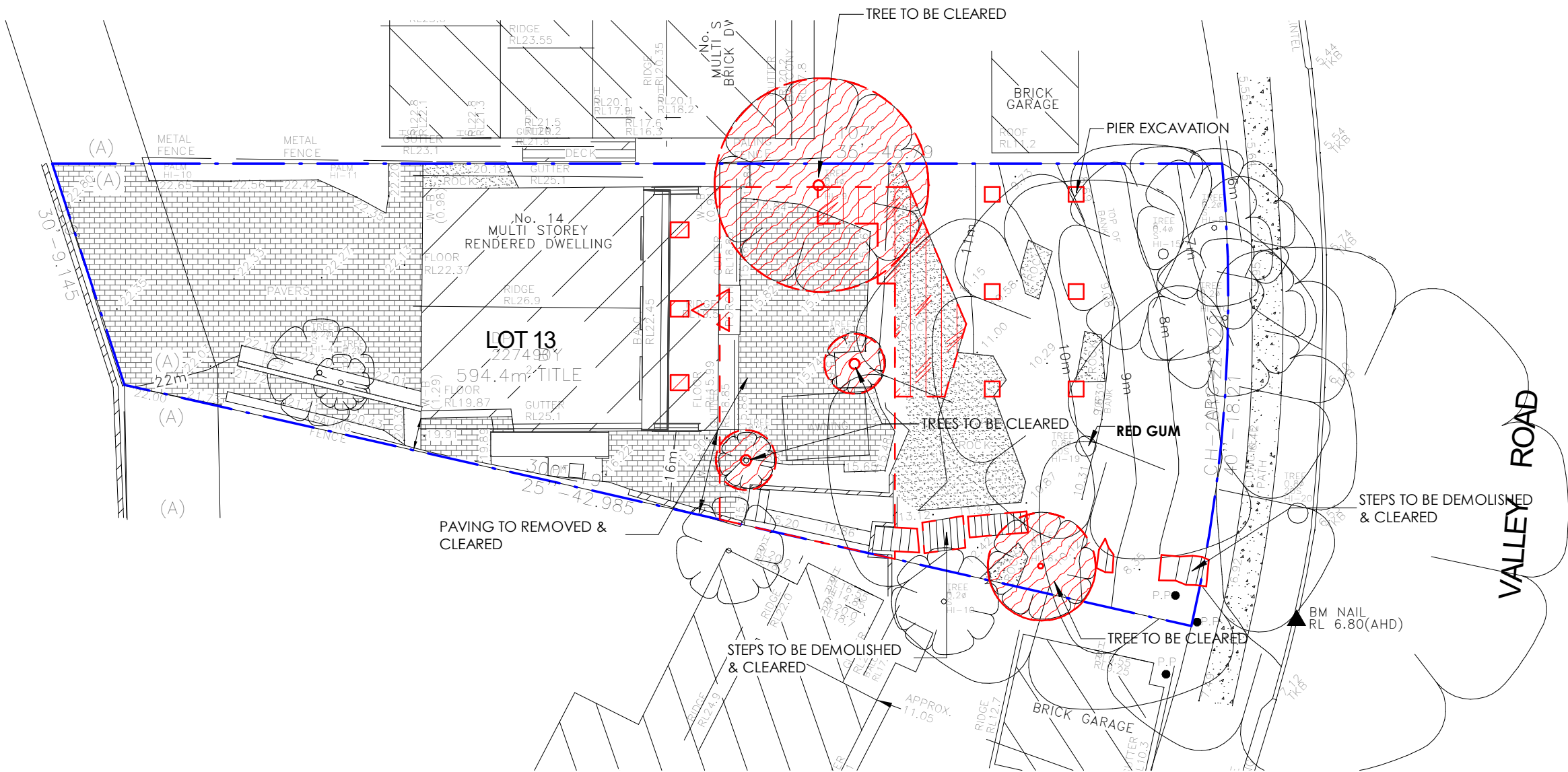
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NOTE:
- TREE PROTECTION MEASURES TO BE PROVIDED TO "RED GUM"

DEMOLITION LEGEND

-  REMOVE EXISTING TREE
-  BULK EXCAVATION
-  PIER EXCAVATION



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PROPOSED DEMOLITION PLAN

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PROPOSED - SITE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA	594.4m ²
FLOOR AREA	
EXISTING FLOOR AREA	197.41m ²
PROPOSED ADDITIONS	
PROPOSED LOWER GROUND FLOOR	40.31m ²
PROPOSED GROUND FLOOR	34.32m ²
TOTAL FLOOR AREA	272.04m ²
TOTAL FSR	0.46:1
MAX PERMISSIBLE	0.50:1
SITE COVERAGE	
FOOT PRINT	181.93m ²
HARD STAND AREA	235.62m ²
LANDSCAPE AREA	176.85m ²
LANDSCAPE AREA %	29.75%

COMMITMENTS IN THE BASIX

LIGHTING

- MINIMUM 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLOURESCENT, COMPACT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

FIXTURES

- NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/min. OR A 3 STAR WATER RATING.
- NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
- NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/min. OR MINIMUM 3 STAR WATER RATING.

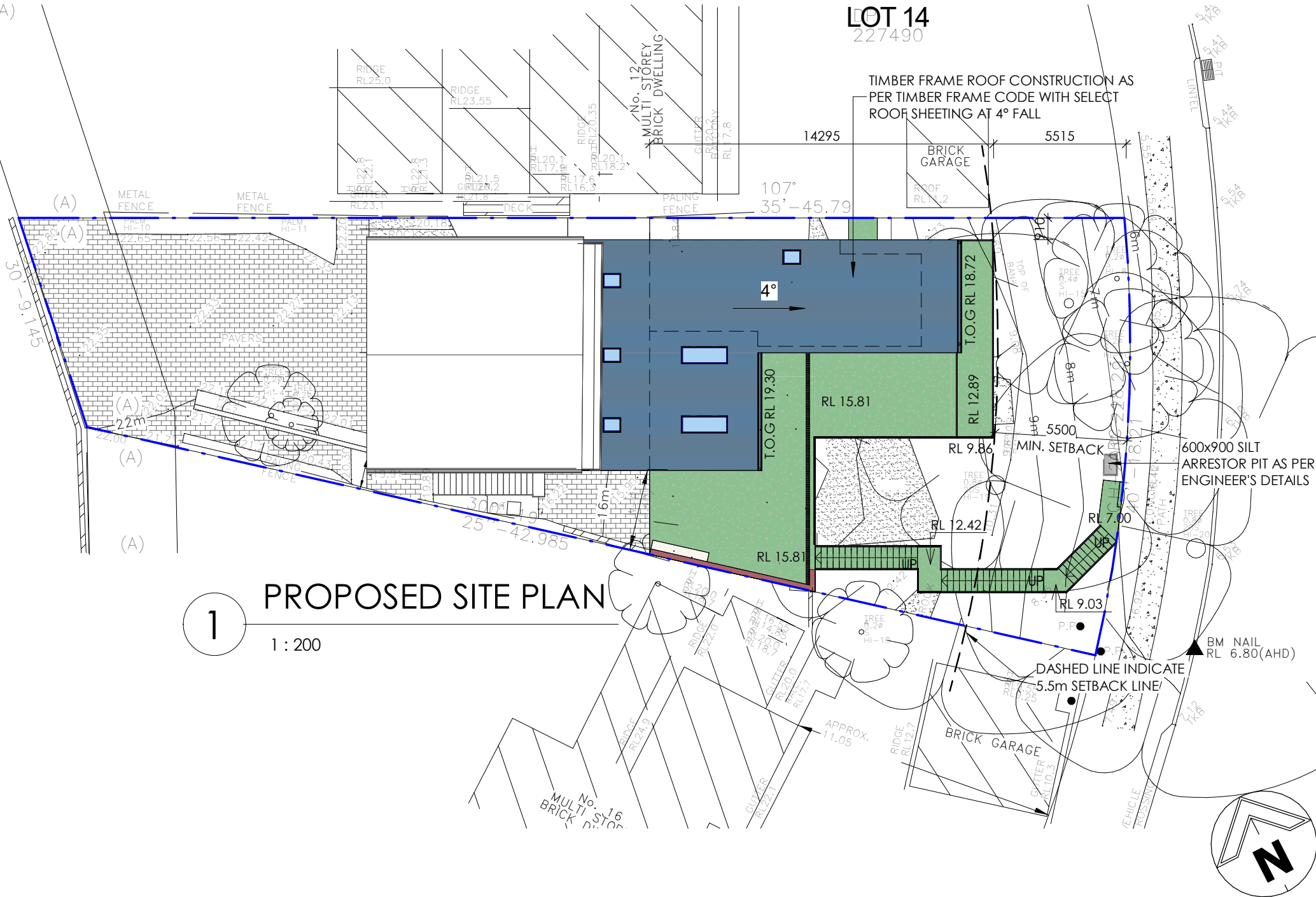
GENERAL NOTES

- DOUBLE BRICK CONSTRUCTION WITH CEMENT RENDER AND PAINT FINISH
- RC SLABS, FOOTINGS, BEAMS AND STAIRS TO ENGINEER'S DETAILS
- COLORBOND ALUMINIUM GUTTERS, FASCIAS AND DOWNPIPES
- POWDERCOATED ALUMINIUM WINDOW AND DOOR ASSEMBLIES - REFER TO SCHEDULES
- FEATURE ARCHITECTURAL MOULDINGS WITH SELECTED PAINT FINISH
- POWDERCOATED ALUMINIUM PANEL LIFT GARAGE DOOR
- SELECTED TIMBER ENTRY DOOR WITH PAINT FINISH
- PLANTERBOXES WITH ADEQUATE WATERPROOFING AND DRAINAGE
- TIMBER FRAMED ROOF STRUCTURE AS PER LIGHT TIMBER FRAME CODE WITH SELECTED TILE FINISH
- SELECTED 1000mm HIGH BALUSTRADING
- REFER TO BASIX FOR WATER, ENERGY AND THERMAL COMFORT COMMITMENTS
- REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR STORMWATER MANAGEMENT DETAILS
- REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE DETAILS

BUSHFIRE REQUIREMENTS

- REFER TO ASSESSMENT REPORT PREPARED BY 'BUSHFIRE CONSULTING SERVICES PTY LTD'
REF: J26/0200
- BAL-40: SOUTH-EAST, SOUTH-WEST & NORTH-WEST
- BAL-29: NORTH-EAST
- ALL NEW CONSTRUCTION MUST COMPLY WITH **SECTION 7** - BAL-29 & **SECTION 8** - BAL-40 OF **AS3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS**
- ANY ELEMENT OF CONSTRUCTION OR SYSTEM THAT SATISFIES THE TEST CRITERIA OF **AS1530.8.1** MAY BE USED IN LIEU OF THE APPLICABLE REQUIREMENTS CONTAINED WITHIN THE CLAUSES IN **AS3959-2018**
- **GENERAL REQUIREMENTS**
 - WALLS TO BE NON-COMBUSTIBLE (BRICK, CONCRETE ETC) WITH MIN. THICKNESS OF 90mm
 - DOOR & WINDOW ASSEMBLY SYSTEM TO BE TESTED & CONFORM WITH **AS1530.8.1**
 - VENTILATION OPENINGS FITTED WITH EMBER GUARDS, OR SCREENS
 - ROOFS TO BE ENTIRELY SARKED & GAPS SEALED AT EDGES, HIPS, & RIDGES WITH MESH OR PERFORATED SHEET SCREEN
 - ROOFLIGHTS/SKYLIGHTS TO HAVE AN FRL OF -/30/-
 - FASCIAS TO BE NON-COMUSTIBLE MATERIAL & IN ACCORDANCE WITH **AS1530.1**
 - EXTERNAL EAVES & UNDER AWNING LINING TO BE A MIN. OF 6mm FC SHEETING
 - PROVIDE SEALED FASCIA GUTTERS
 - PROVIDE GARDEN TAP TO FRONT FORECOURT AREA TO UNDERSIDE OF NEW WORKS
 - ALL BALUSTRADING TO BE POWDER COAT ALUMINIUM CONSTRUCTION
 - ALL BARGEBOARDS & CAPPING TO BE POWDER COAT ALUMINIUM FINISH

D-G04 IS TO BE INSTALLED IN ACCORDANCE WITH **AS3959-2018 - 8.5.4 (b)(i-vii)**
D-G02, D-G03, D-LG01, D-LG02 ARE TO BE INSTALLED IN ACCORDANCE WITH **AS3959-2018 - 8.5.5 (b)(i-vii)**



ISSUE B - REV 2 - 06/07/2026

- UPDATED SURVEY

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DRAWING TITLE
PROPOSED SITE PLAN

ADDRESS
14 VALLEY RD, PADSTOW
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PROJECT STATUS
DEVELOPMENT APPLICATION

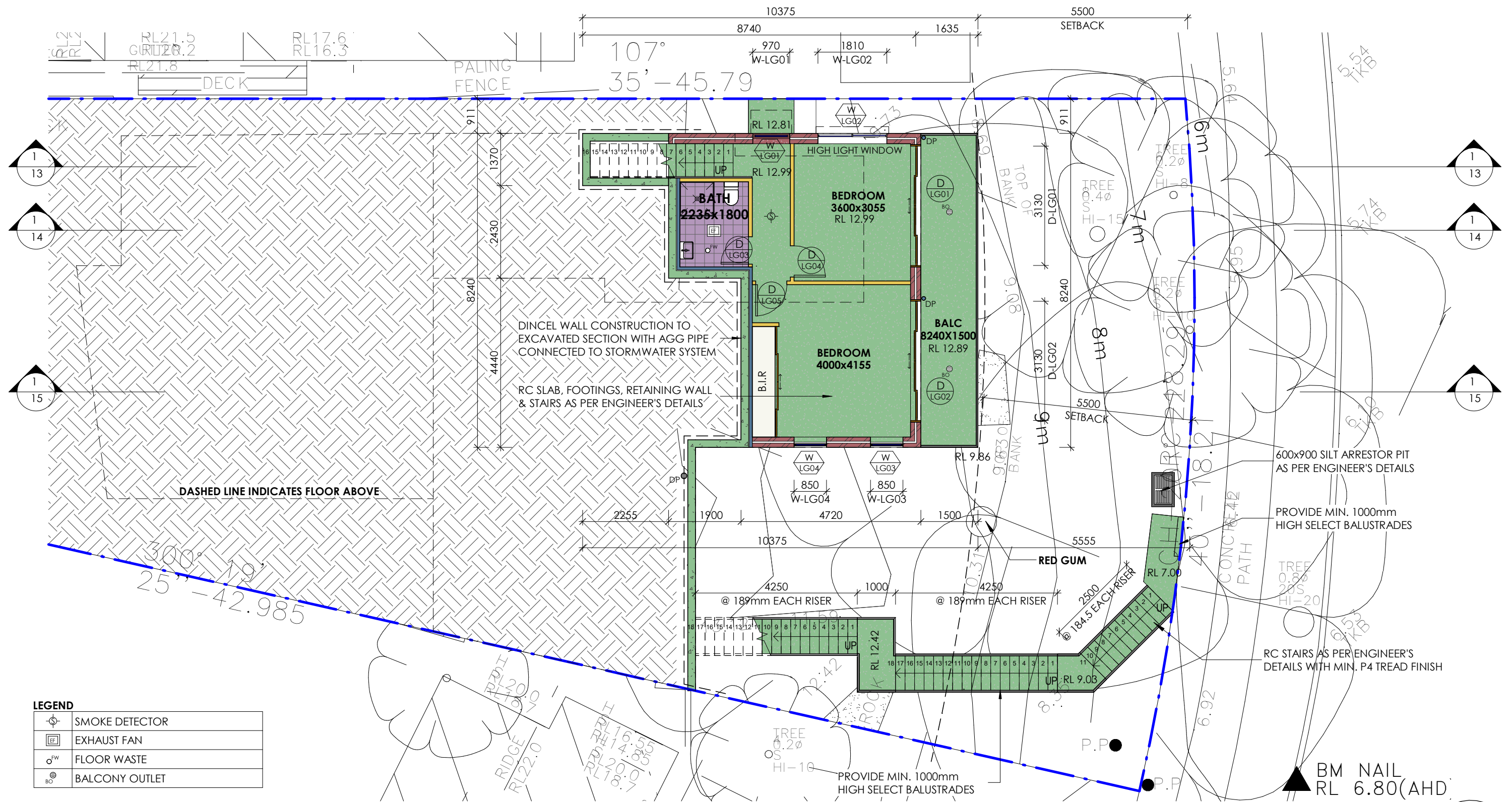
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PROPOSED LOWER GROUND FLOOR PLAN

1

1 : 100

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PROPOSED LOWER GROUND FLOOR PLAN

SHEET NO:	06	ISSUE:	B
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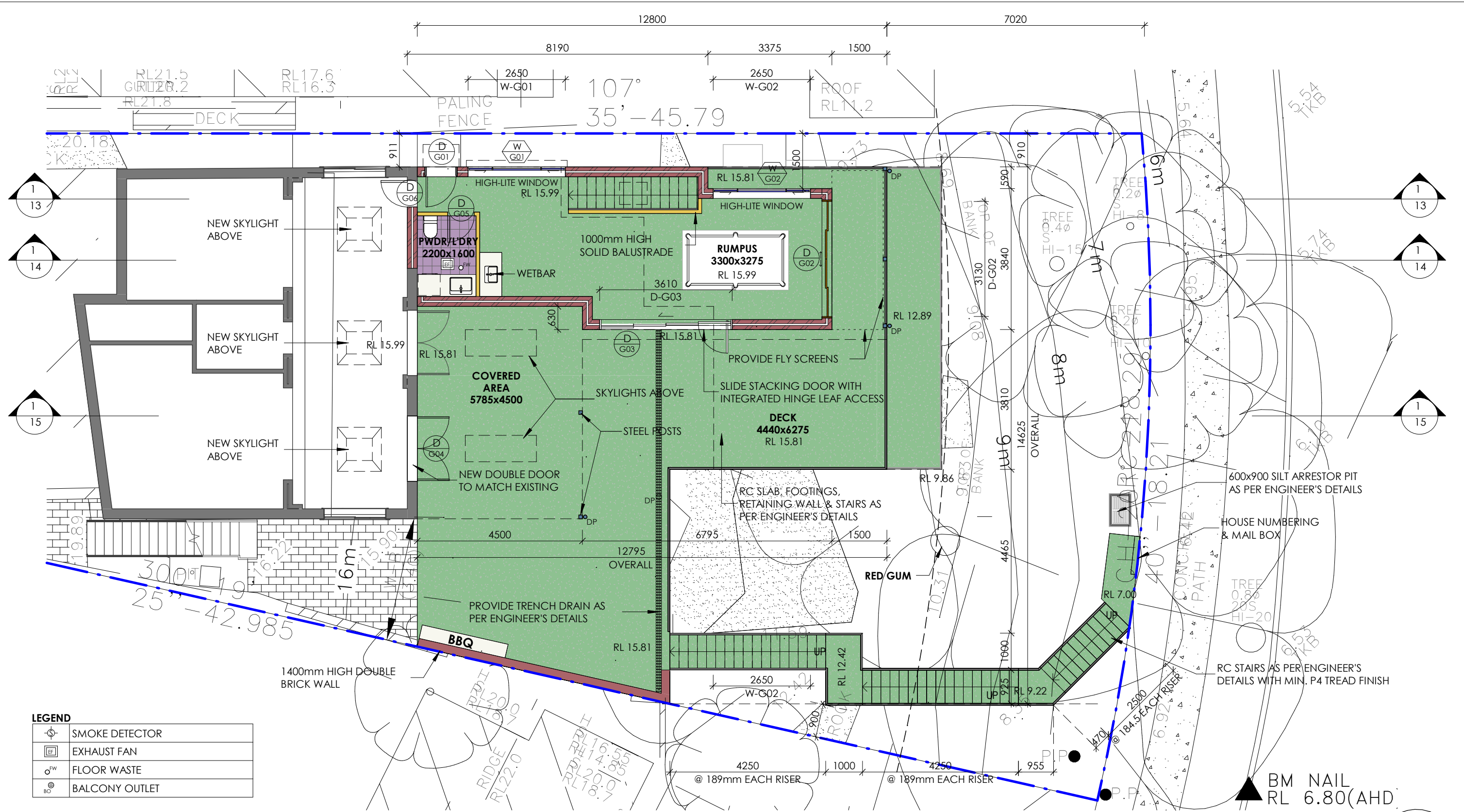
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BM NAIL
RL 6.80(AHD)



PROPOSED GROUND FLOOR PLAN

1

1 : 100

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ALTERATIONS & ADDITIONS

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PROPOSED GROUND FLOOR PLAN

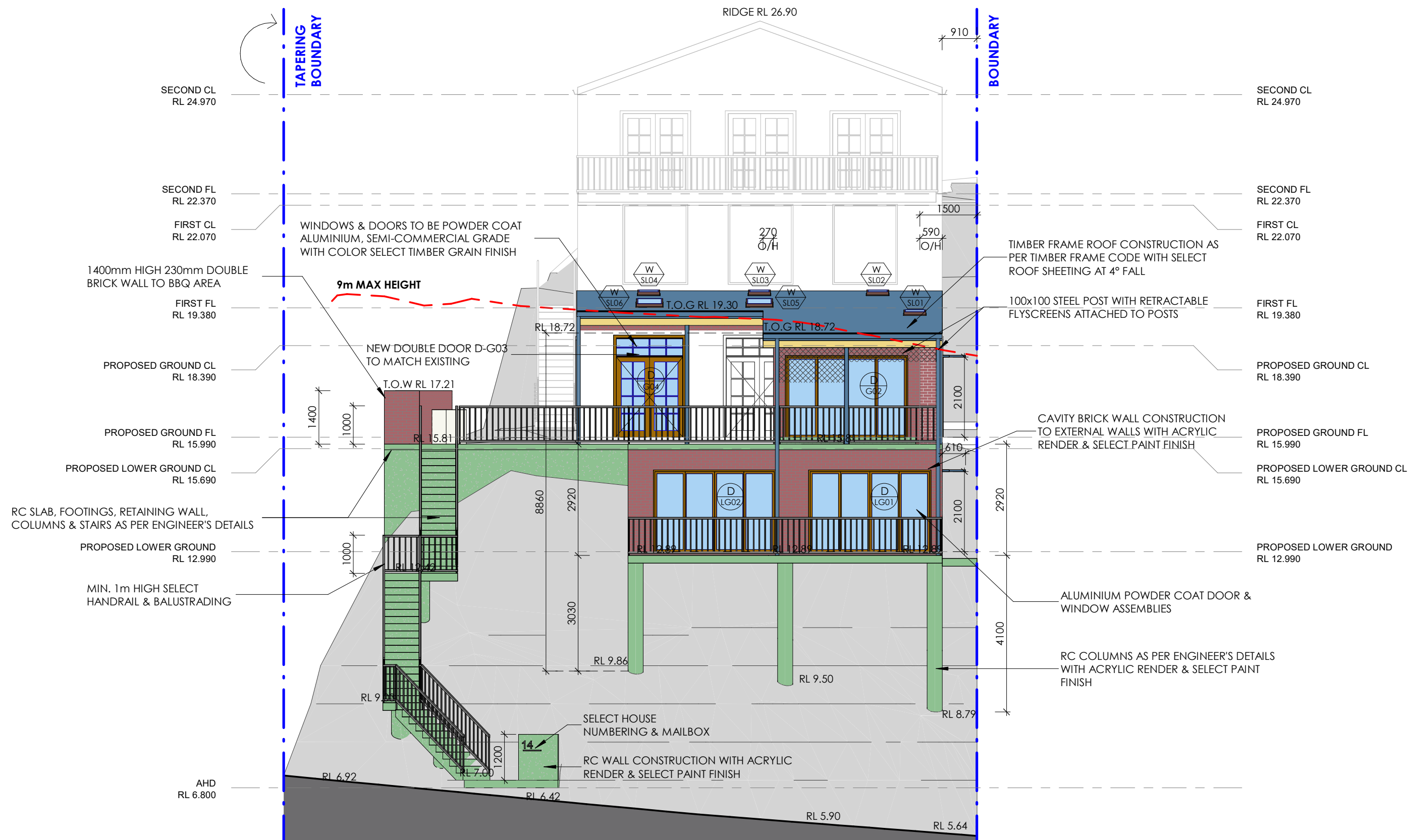
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1 PROPOSED EAST ELEVATION
1 : 100

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PROPOSED EAST ELEVATION

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DEVELOPMENT APPLICATION

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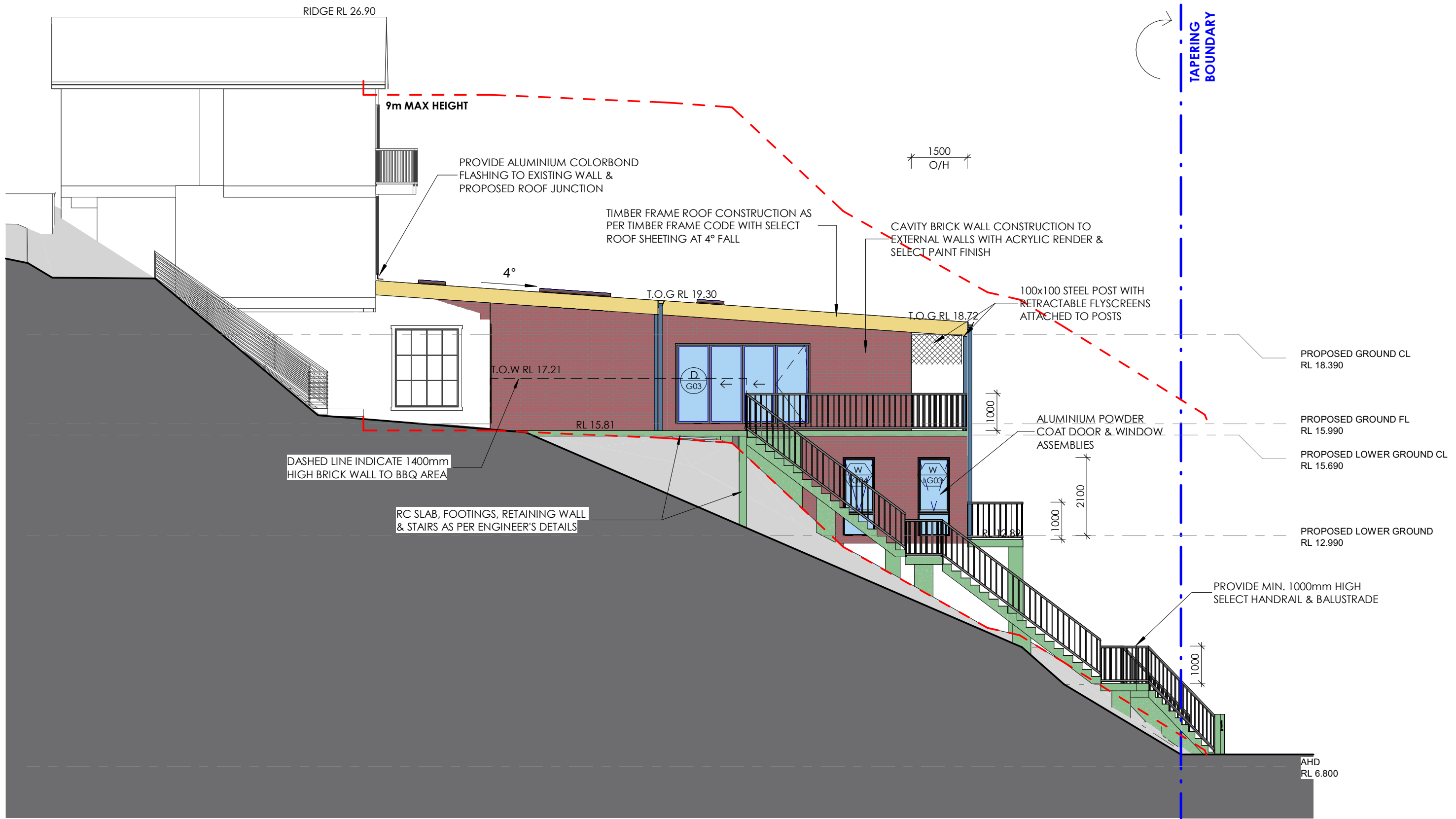
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1 PROPOSED SOUTH ELEVATION

1 : 100

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PROPOSED SOUTH ELEVATION

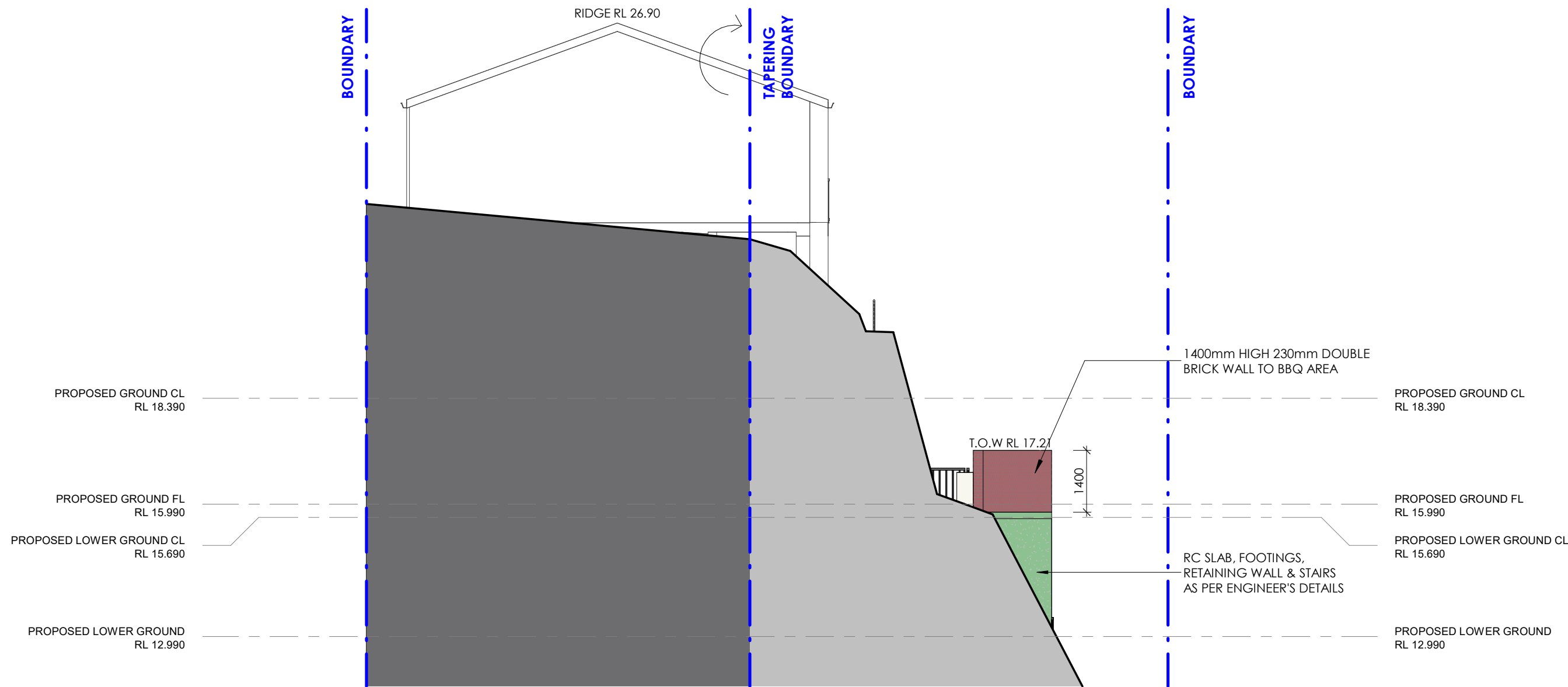
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1 PROPOSED WEST ELEVATION
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PROPOSED WEST ELEVATION

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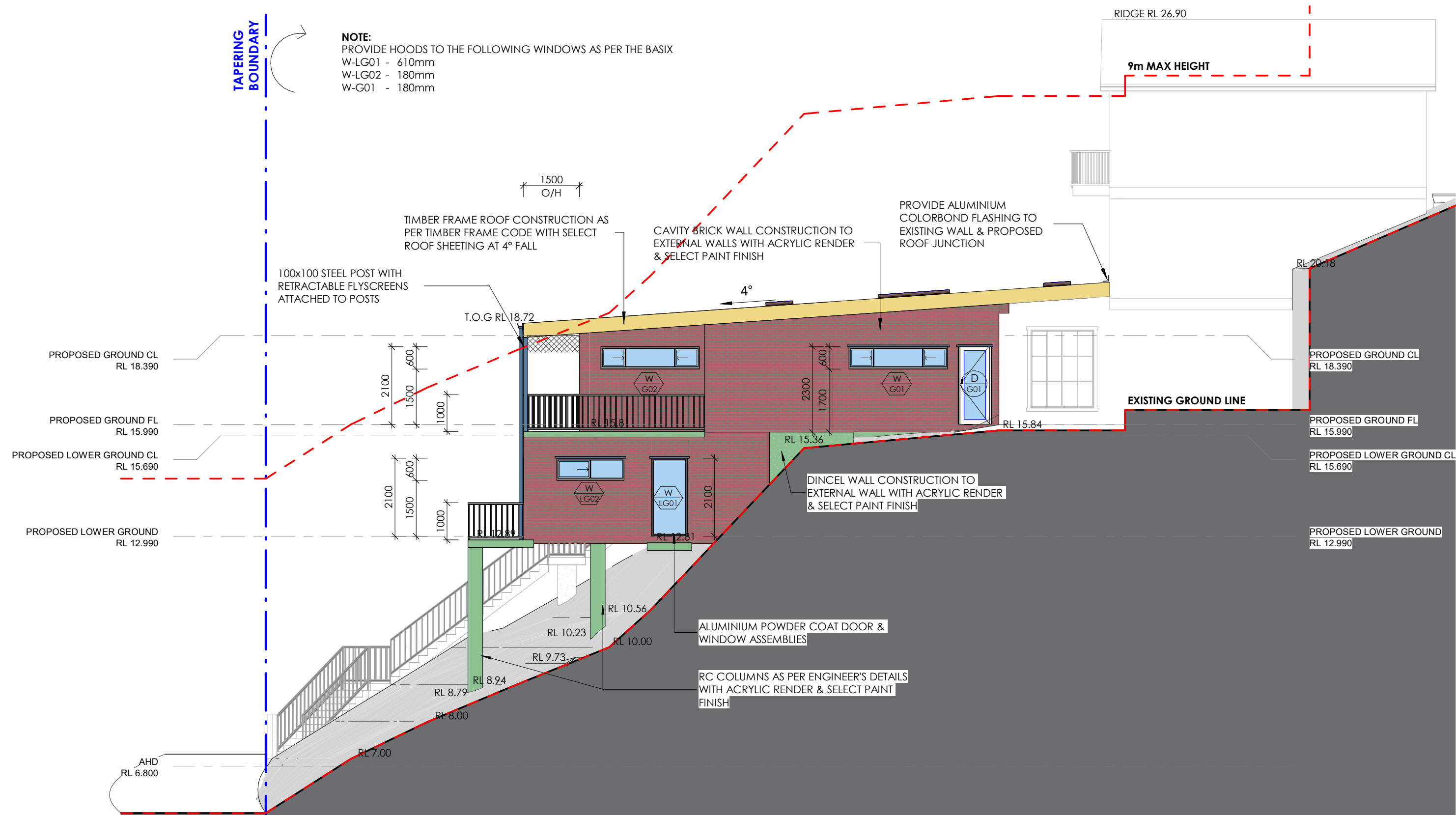
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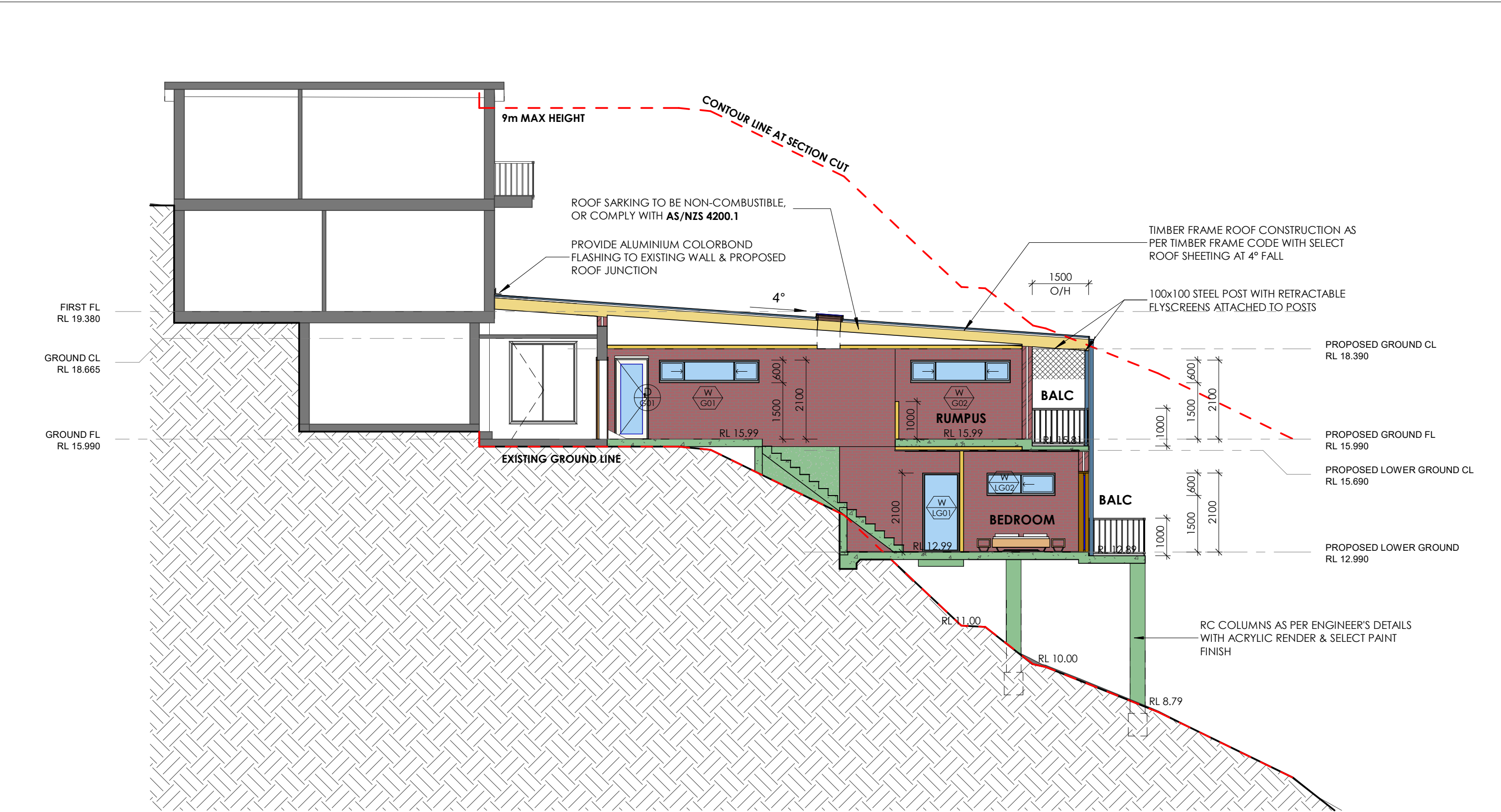
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1 PROPOSED NORTH ELEVATION
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					ADDRESS 14 VALLEY RD, PADSTOW HEIGHTS		PROJECT STATUS DEVELOPMENT APPLICATION		SHEET NO: 12		ISSUE: B	
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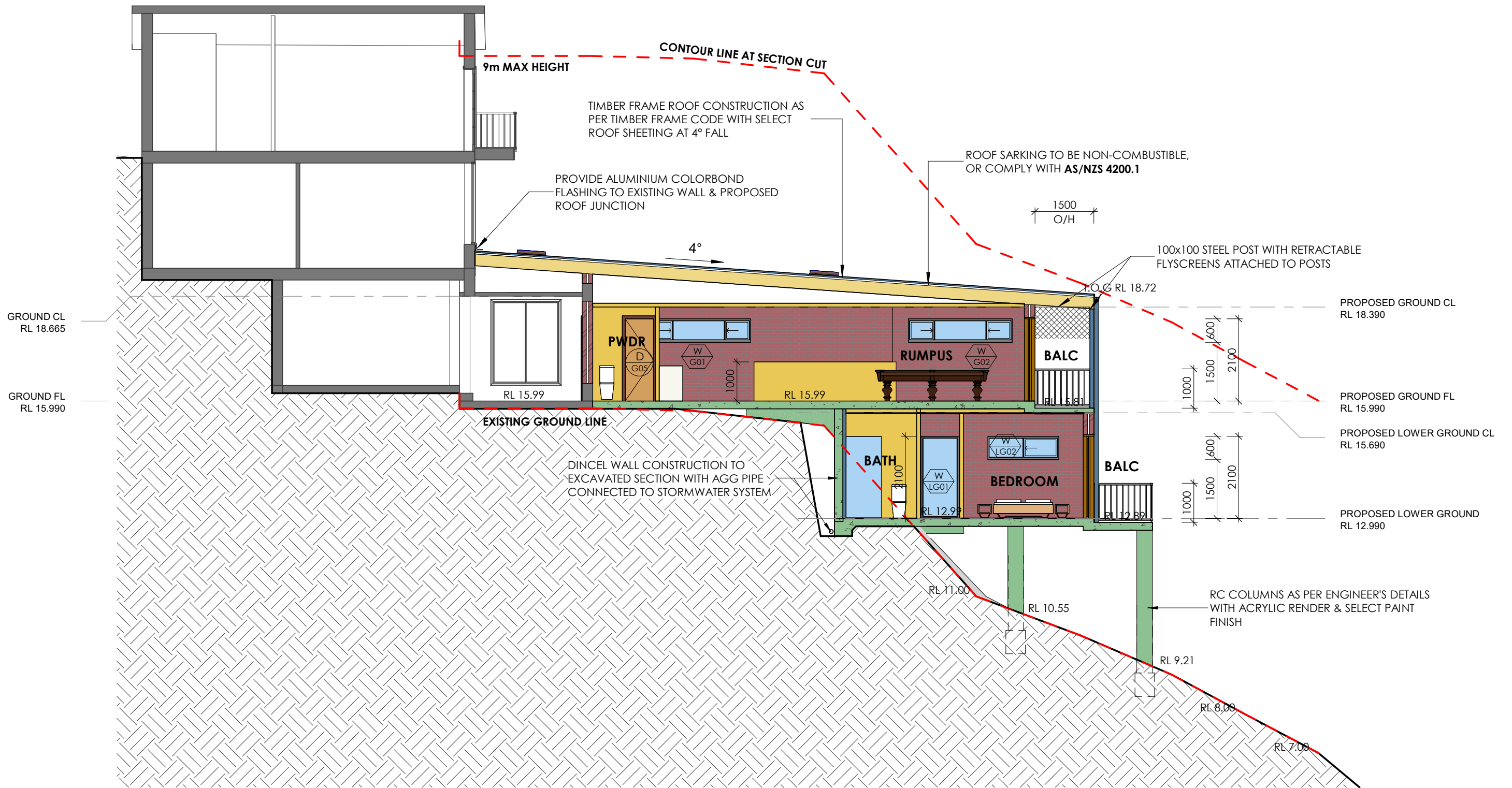


1

PROPOSED SECTION 1

1 : 100

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1 PROPOSED SECTION 2

1 : 100

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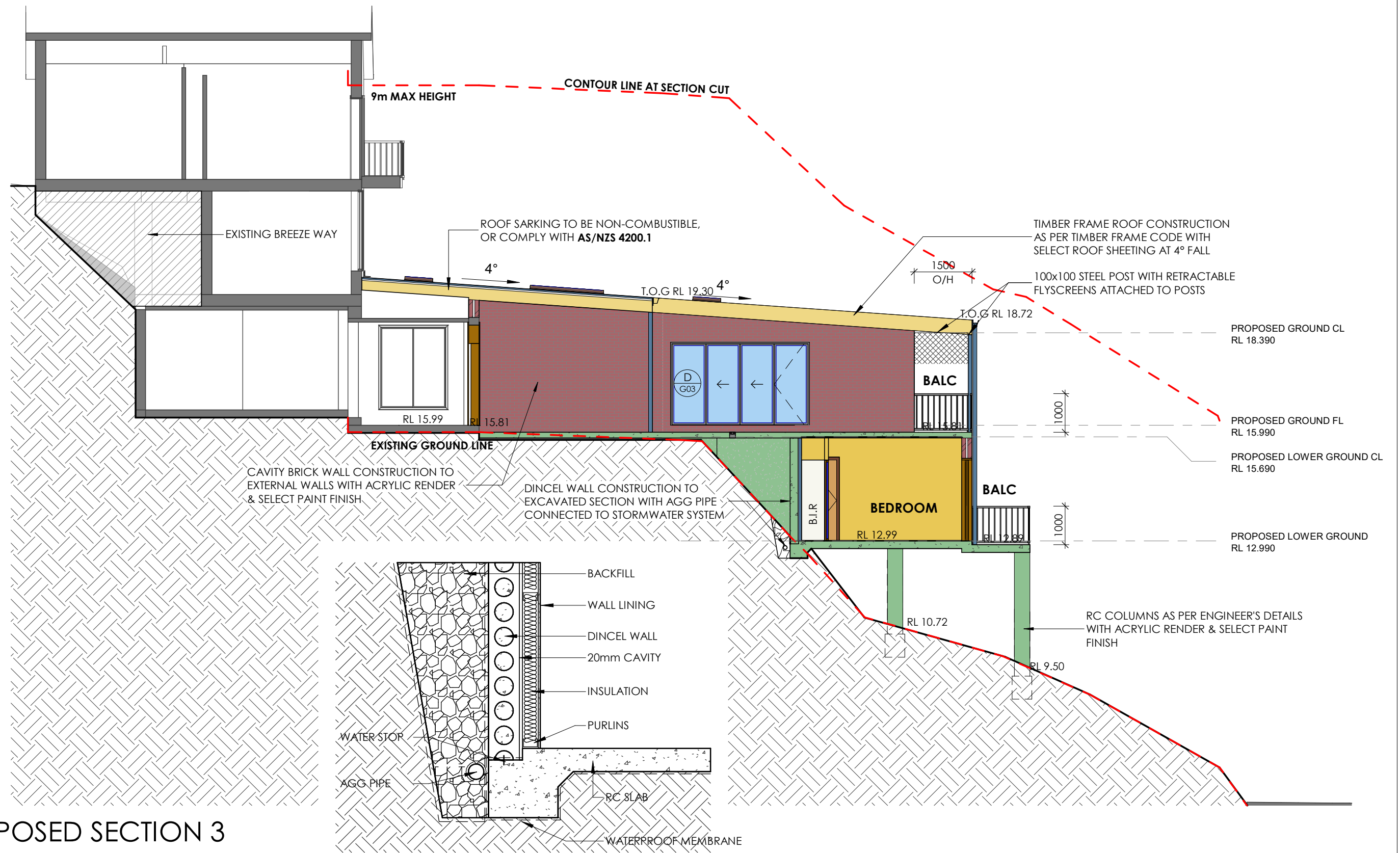
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1 PROPOSED SECTION 3
1 : 100

ISSUE B - REV 2 - 06/07/2026 - UPDATED SURVEY					CLIENT Ms. DELIMANIS	PROJECT ALTERATIONS & ADDITIONS	DRAWING TITLE PROPOSED SECTION 3	DS407 DESIGN STUDIO		 COPYRIGHT of designs shown heron is retained by DESIGN STUDIO 407. Authority is required for any reproduction. Contractor(s) to verify all dimensions on site before commencing work. Figured dimensions given are to be taken in preference to scaling.															
<table><tr><td>B</td><td>DEVELOPMENT APPLICATION</td><td>02/07/2026</td><td>DP</td><td>EJS</td></tr><tr><td>A</td><td>CONCEPT DESIGN - SING-OFF</td><td>30/03/2026</td><td>DP</td><td>EJS</td></tr><tr><td>ISSUE</td><td>AMENDMENTS</td><td>DATE</td><td>DRN</td><td>CHK</td></tr></table>					B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS		A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS	ISSUE	AMENDMENTS	DATE	DRN	CHK	ADDRESS 14 VALLEY RD, PADSTOW HEIGHTS	PROJECT STATUS DEVELOPMENT APPLICATION	SHEET NO: 15 SCALE: As indicated@A3 DESIGN: DP	ISSUE: B JOB NO: 888-1847 DRAWN: DP CHECKED BY: EJS	P PO Box 141 Earlwood NSW 2206. E admin@designstudio407.com.au W www.designstudio407.com.au T (02) 9558 8944 F (02) 9558 9765
B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS																					
A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS																					
ISSUE	AMENDMENTS	DATE	DRN	CHK																					

DOOR SCHEDULE					
Mark	Height	Width	Door Area	Description	Basix Requirements
LG01	2100	3130	6.57	4 Panel Sliding Doors w/ Glazing	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
LG02	2100	3130	6.57	4 Panel Sliding Doors w/ Glazing	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
LG03	2100	820	1.72	Timber Solid Core Internal Single Swing Door	N/A
LG04	2100	820	1.72	Timber Solid Core Internal Single Swing Door	N/A
LG05	2100	720	1.51	Timber Solid Core Internal Single Swing Door	N/A
G01	2100	820	1.72	Alum. Frame Single Swing Door w/ Glazed	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
G02	2100	3130	6.57	4 Panel Sliding Doors w/ Glazing	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
G03	2100	881	1.85	4 Panel Slide Stacking Door w/ Integrated Hinge Leaf Access	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
G04	2100	1740	3.65	Timber Frame Double Doors w/ Highlight	Timber or uPVC, Single Clear, (or U-Value: 5.71, SHGC: 0.66)
G05	2100	720	1.51	Timber Solid Core Internal Single Swing Door	N/A
G06	2100	720	1.51	Timber Solid Core Internal Single Swing Door	N/A

WINDOW SCHEDULE						
Mark	Height	Width	Window Area	Head Height	Description	Basix Requirments
LG01	2100	970	2.04	2100	Alum. Frame Fixed Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47) & 610mm Hood Directly Above Window
LG02	600	1810	1.09	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47) & 180mm Hood Directly Above Window
LG03	2100	850	1.79	2100	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.75)
LG04	2100	850	1.79	2100	Alum. Frame Awning Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Clear, (or U-Value: 7.63, SHGC: 0.76)
G01	600	2650	1.59	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47) & 180mm Hood Directly Above Window
G02	600	2650	1.59	2100	Alum. Frame Sliding Window w/ 6.38mm Lam. Clear Glazing	Standard Aluminium, Single Pyrolytic Low-E, (U-Value: 5.7, SHGC: 0.47) & 180mm Hood Directly Window

NOTE:
PROVIDE HOODS TO THE FOLLOWING WINDOWS
W-LG01 - 610mm
W-LG02 - 180mm
W-G01 - 180mm

SKYLIGHT SCHEDULE					
Mark	Height	Width	Window Area	Description	Basix Requirments
SL01	550	700	0.39	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)
SL02	550	700	0.39	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)
SL03	550	700	0.39	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)
SL04	550	700	0.39	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)
SL05	1885	665	1.25	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)
SL06	1885	665	1.25	Powdercoated Alum. Frame Skylight	Alum. Double Clear/Air Fill, (or U-Value: 4.3, SHGC: 0.5)

NOTES:

- 1.** ALL EXTERNAL DOOR AND WINDOW ASSEMBLIES ARE TO BE TESTED & COMPLY WITH **AS1530.8.1** IN ACCORDANCE WITH THE BUSHFIRE REQUIREMENTS NOTED ON SHEET 05. WHERE LOCATED WITHIN A BAL-40 ZONE (SOUTH-EAST, SOUTH-WEST & NORTH-WEST ELEVATIONS), ASSEMBLIES ARE TO ADDITIONALLY COMPLY WITH **AS3959-2018 SECTION 8, CLAUSE 8.5.5**; WHERE LOCATED WITHIN A BAL-29 ZONE (NORTH-EAST ELEVATION), ASSEMBLIES ARE TO COMPLY WITH AS3959-2018 SECTION 7, **CLAUSE 8.5.4**. REFER TO ELEVATIONS FOR APPLICABLE BAL ZONE PER ASSEMBLY.
- 2.** GLAZING IS TO COMPLY WITH **AS1288** AND **AS/NZS 2208** WHERE LOCATED WITHIN A HUMAN IMPACT ZONE (INCLUDING BUT NOT LIMITED TO GLAZING ADJACENT TO FLOOR LEVEL, WITHIN 300mm OF A DOOR, WITHIN SWINGING DOOR ARCS, IN BATHROOMS/WET AREAS, OR WITH A LOWEST EDGE LESS THAN 500mm ABOVE FLOOR LEVEL). GRADE A SAFETY GLAZING TO BE PROVIDED TO ALL SUCH LOCATIONS.
- 3.** WINDOWS WITH A LOWEST OPENING EDGE LESS THAN 1.7m ABOVE FINISHED FLOOR LEVEL, WHERE THE FINISHED FLOOR LEVEL IS MORE THAN 2m ABOVE THE SURFACE BELOW, ARE TO BE FITTED WITH A WINDOW FALL PREVENTION DEVICE OR WINDOW LOCKING DEVICE RESTRICTING THE OPENING TO A MAXIMUM OF 125mm, IN ACCORDANCE WITH **NCC VOLUME TWO, PART H4D5**, UNLESS OTHERWISE PROTECTED BY A PERMANENT BARRIER.
- 4.** RETRACTABLE FLYSCREENS TO BE PROVIDED TO ALL SLIDING/STACKING DOOR ASSEMBLIES AS NOTED ON PLAN.
- 5.** ALL DOOR & WINDOW HARDWARE & FIXINGS TO BE CORROSION-RESISTANT, SUITABLE FOR THE PROXIMITY TO THE GEORGES RIVER FORESHORE.

ISSUE B - REV 2 - 06/07/2026

- UPDATED SURVEY

B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS
A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT

Ms. DELIMANIS

PROJECT

ALTERATIONS & ADDITIONS

DRAWING TITLE

DOOR, WINDOW & SKYLIGHT SCHEDULE

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ADDRESS

14 VALLEY RD, PADSTOW HEIGHTS

PROJECT STATUS

DEVELOPMENT APPLICATION

SHEET NO:

16

ISSUE:

B

SCALE:

1 : 100@A3

JOB NO:

888-1847

DESIGN:

DP

DRAWN:

DP

CHECKED BY:

EJS

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1843122

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 22 April 2026
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	14 VALLEY ROAD
Street address	14 VALLEY Road PADSTOW HEIGHTS 2211
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP227490
Lot number	13
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Building & Energy Consultants Australia	
ABN (if applicable): 92122407783	

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
WLG01	NE	2.04	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
WLG02	NE	1.09	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
DLG01	SE	6.57	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
DLG02	SE	6.57	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WLG03	SW	1.79	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
SL01	0.39	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
SL02	0.39	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
SL03	0.39	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
SL04	0.39	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil	N/A	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	N/A	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	N/A	
external wall: cavity brick	nil		
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)	
flat ceiling, flat roof: concrete/ plasterboard internal	ceiling: R3.00 (up), roof: none	light (solar absorptance < 0.475)	

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
WLG04	SW	1.79	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
DG01	NE	1.72	5.2	1.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG01	NE	1.59	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
WG02	NE	1.59	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
DG02	SE	6.57	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
DG03	SW	6.57	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
DG04	SE	4.86	0	0	projection/ height above sill ratio >=0.43	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			

ISSUE B - REV 2 - 06/07/2026
- UPDATED SURVEY

B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS
A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT
Ms. DELIMANIS

ADDRESS
14 VALLEY RD, PADSTOW
HEIGHTS

PROJECT
ALTERATIONS & ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
BASIX

SHEET NO:	17	ISSUE:	B
SCALE:	@A3	JOB NO:	888-1847
DESIGN: DP	DRAWN: DP	CHECKED BY:	EJS



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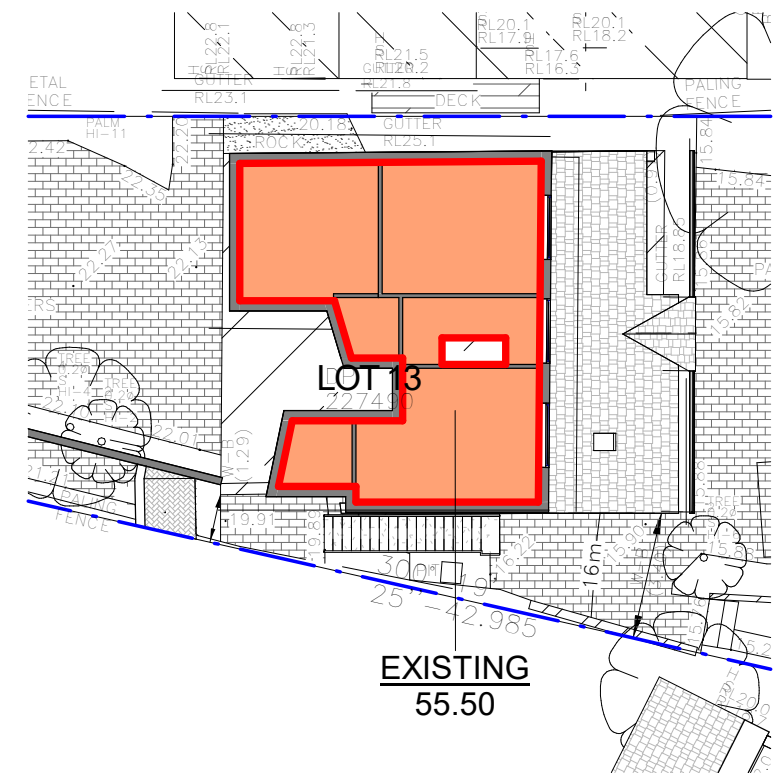
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EXISTING - SITE CALCULATIONS	
ZONE	R2
SITE AREA	594.4m ²
FLOOR AREA	
GROUND FLOOR AREA	73.25m ²
FIRST FLOOR AREA	55.50m ²
SECOND FLOOR AREA	68.66m ²
TOTAL FLOOR AREA	
TOTAL FLOOR AREA	197.41m ²
EXISTING FSR	0.33:1
MAX PERMISSIBLE	0.5:1
SITE COVERAGE	
FOOTPRINT	110.09m ²
HARD STAND AREA	208.88m ²
LANDSCAPE AREA	276.23m ²
LANDSCAPE AREA %	46.47%



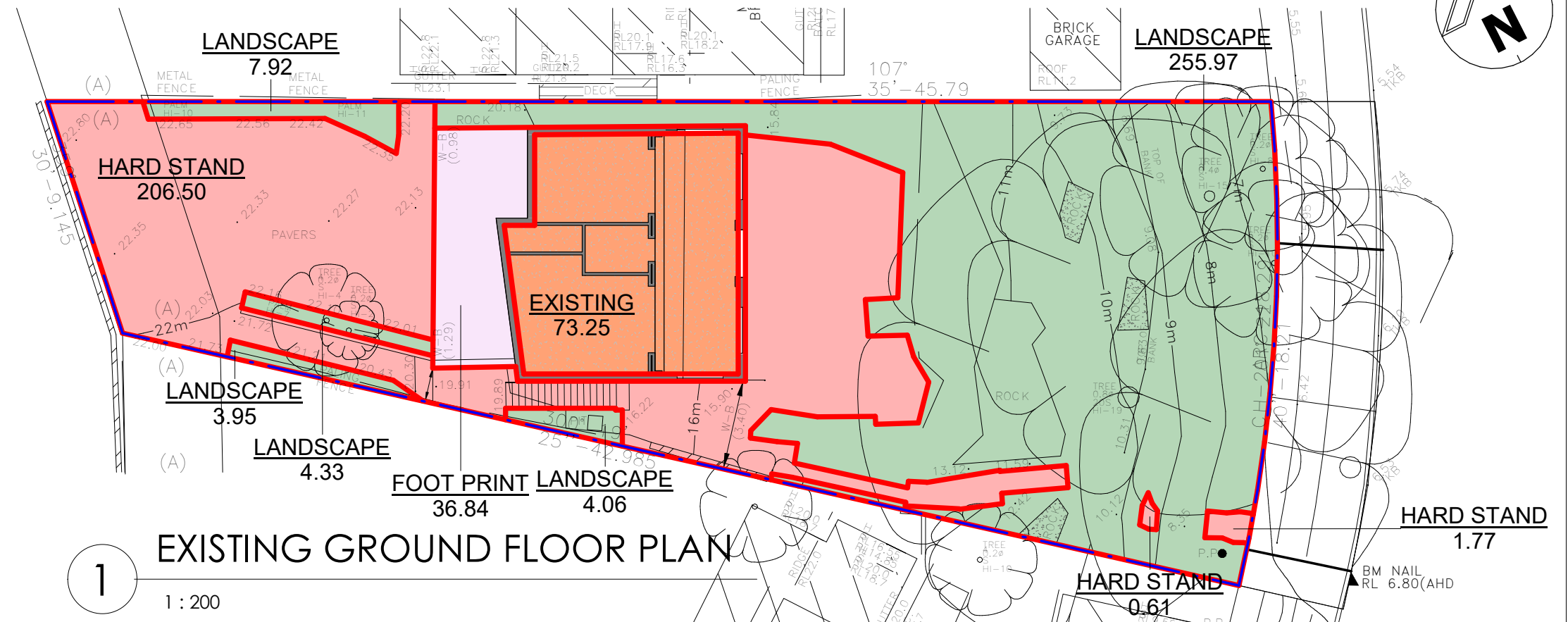
EXISTING SECOND FLOOR

1 : 200



EXISTING FIRST FLOOR PLAN

1 : 200



EXISTING GROUND FLOOR PLAN

1 : 200

AREA CALCULATIONS

- EXISTING
- FOOT PRINT
- HARD STAND
- LANDSCAPE

ISSUE B - REV 2 - 06/07/2026
- UPDATED SURVEY

B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS
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ISSUE	AMENDMENTS	DATE	DRN	CHK

CLIENT
Ms. DELIMANIS

ADDRESS
14 VALLEY RD, PADSTOW
HEIGHTS

PROJECT
ALTERATIONS & ADDITIONS

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
EXISTING AREA CALCULATIONS

SHEET NO:	18	ISSUE:	B
SCALE:	1 : 200@A3	JOB NO:	888-1847
DESIGN:	DP	DRAWN:	DP
CHECKED BY:	EJS		

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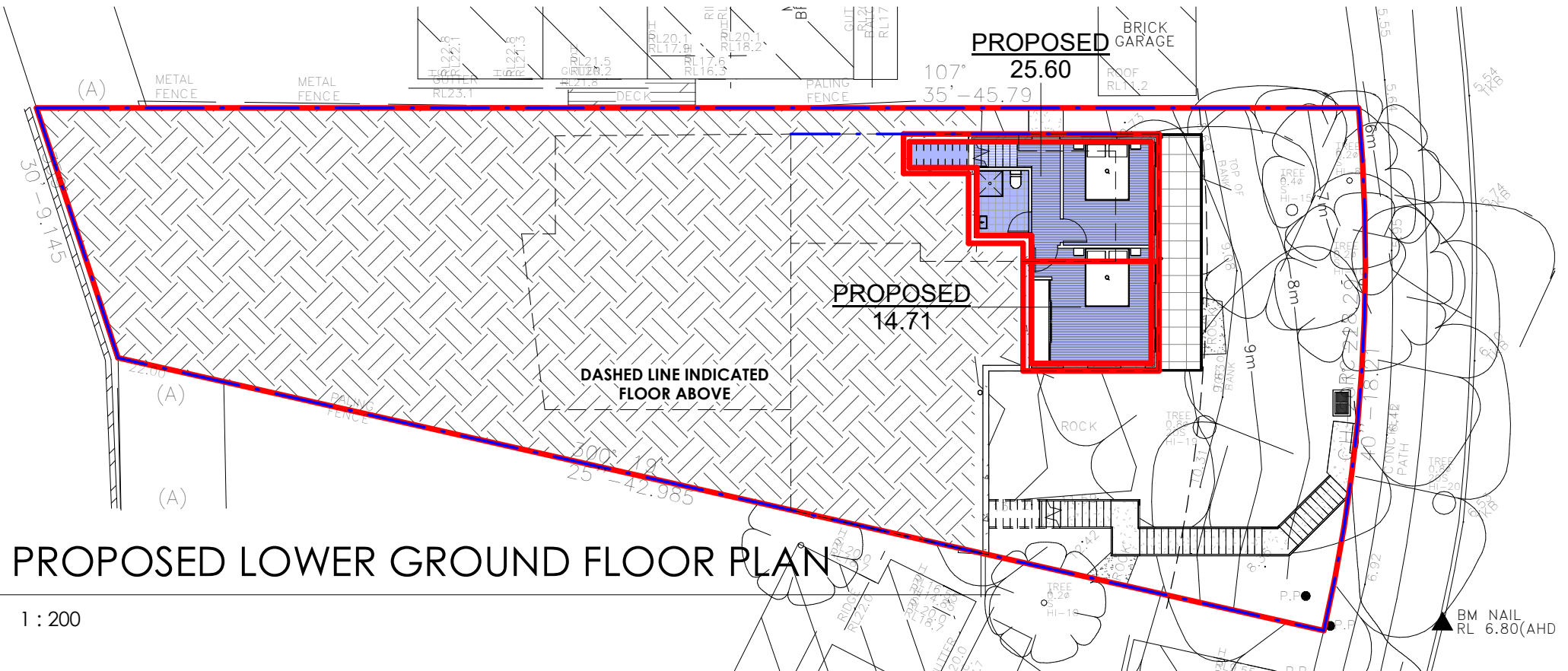
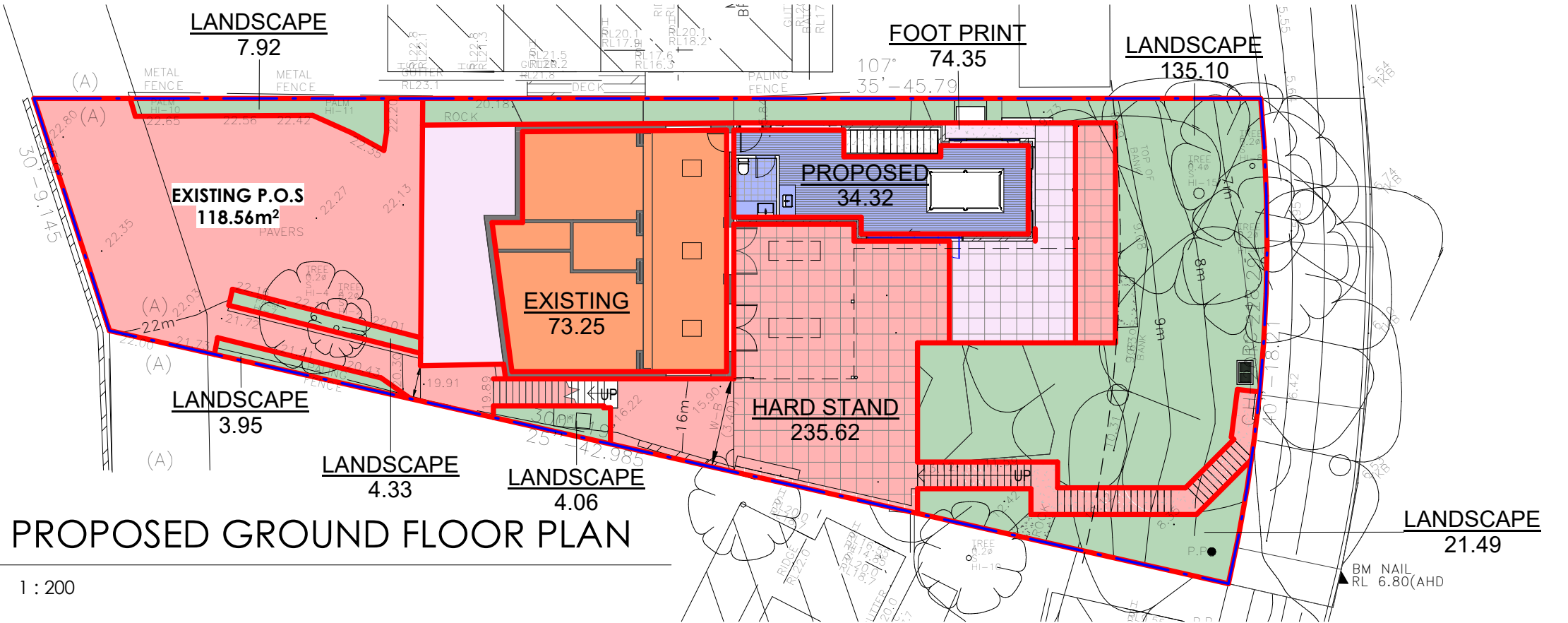
PROPOSED - SITE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA	594.4m ²
FLOOR AREA	
EXISTING FLOOR AREA	197.41m ²
PROPOSED ADDITIONS	
PROPOSED LOWER GROUND FLOOR	40.31m ²
PROPOSED GROUND FLOOR	34.32m ²
TOTAL FLOOR AREA	272.04m ²
TOTAL FSR	0.46:1
MAX PERMISSIBLE	0.50:1
SITE COVERAGE	
FOOT PRINT	181.93m ²
HARD STAND AREA	235.62m ²
LANDSCAPE AREA	176.85m ²
LANDSCAPE AREA %	29.75%

AREA CALCULATIONS

- EXISTING
- FOOT PRINT
- HARD STAND
- LANDSCAPE
- PROPOSED



ISSUE B - REV 2 - 06/07/2026
- UPDATED SURVEY

CLIENT
Ms. DELIMANIS

PROJECT
ALTERATIONS & ADDITIONS

DRAWING TITLE
PROPOSED AREA CALCULATIONS

ADDRESS
14 VALLEY RD, PADSTOW
HEIGHTS

PROJECT STATUS
DEVELOPMENT APPLICATION

SHEET NO: 19
SCALE: 1 : 200@A3
DESIGN: DP
ISSUE: B
JOB NO: 888-1847
DRAWN: DP
CHECKED BY: EJS

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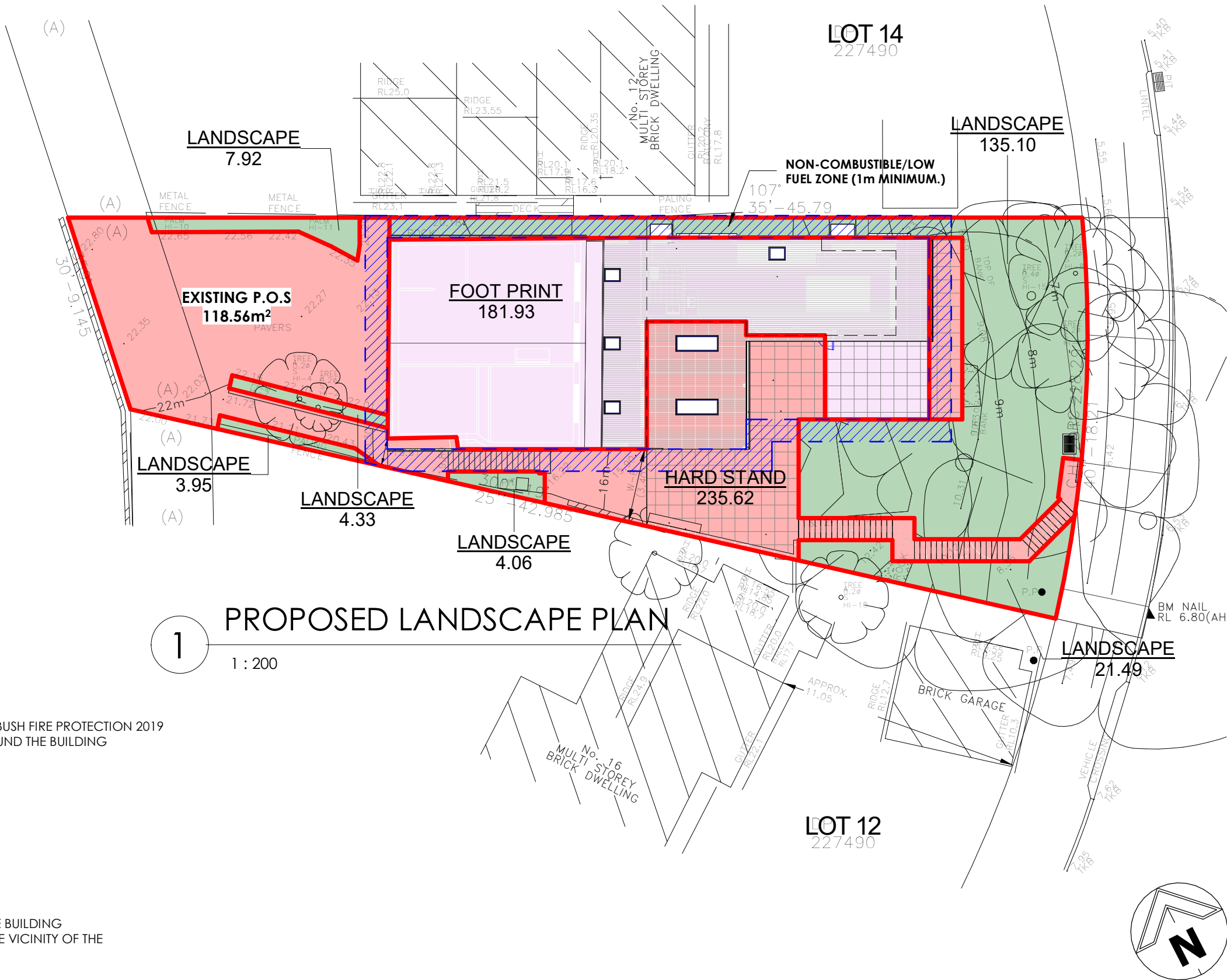
LANDSCAPE CALCULATIONS

ALTERATIONS & ADDITIONS

ZONE	R2
SITE AREA	594.4m ²
SITE COVERAGE	
FOOT PRINT	181.93m ²
HARD STAND AREA	235.62m ²
LANDSCAPE AREA	176.85m ²
LANDSCAPE AREA %	29.75%

AREA CALCULATIONS

- FOOT PRINT
- HARD STAND
- LANDSCAPE



BUSHFIRE LANDSCAPING REQUIREMENTS:

- LANDSCAPING WITHIN THE APZ IS TO COMPLY WITH APPENDIX 4 OF PLANNING FOR BUSH FIRE PROTECTION 2019
- A MINIMUM 1m WIDE LOW-FUEL/NON-COMBUSTIBLE ZONE IS TO BE PROVIDED AROUND THE BUILDING PERIMETER.
- PLANTING WITHIN THE IMMEDIATE VICINITY OF THE BUILDING IS TO BE LIMITED.
- TREES & SHRUBS ARE TO BE:
 - LOCATED IN ISOLATED OR SMALL CLUSTERS
 - NOT FORM A CONTINUOUS CANOPY TO THE BUILDING
- TREE CANOPY COVER IS TO BE:
 - <15% WITHIN THE INNER PROTECTION AREA (IPA)
- SPECIES SELECTION TO:
 - AVOID HIGH FLAMMABILITY VEGETATION
 - AVOID FIBROUS BARK, SHEDDING BARK, AND HIGH FUEL LOAD SPECIES
- NO CLIMBING PLANTS ON WALLS OR STRUCTURES
- COMBUSTIBLE MATERIALS (MULCH, TIMBER, FUEL STORAGE) TO BE KEPT CLEAR OF THE BUILDING
- OUTBUILDINGS & COMBUSTIBLE STRUCTURES TO BE LOCATED OUTSIDE THE IMMEDIATE VICINITY OF THE DWELLING.

ISSUE B - REV 2 - 06/07/2026

- UPDATED SURVEY

CLIENT
Ms. DELIMANIS

PROJECT
ALTERATIONS & ADDITIONS

DRAWING TITLE
PROPOSED LANDSCAPE PLAN

ADDRESS
14 VALLEY RD, PADSTOW
HEIGHTS

PROJECT STATUS
DEVELOPMENT APPLICATION

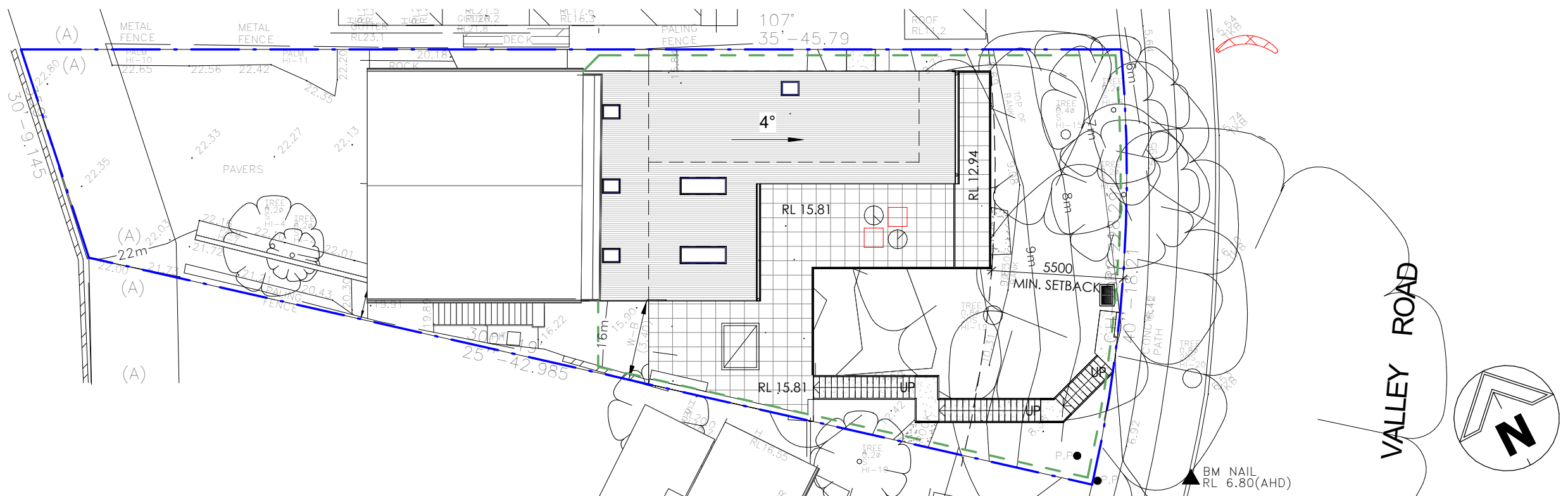
SHEET NO: 20 ISSUE: B
SCALE: 1 : 200@A3 JOB NO: 888-1847
DESIGN: DP DRAWN: DP CHECKED BY: EJS

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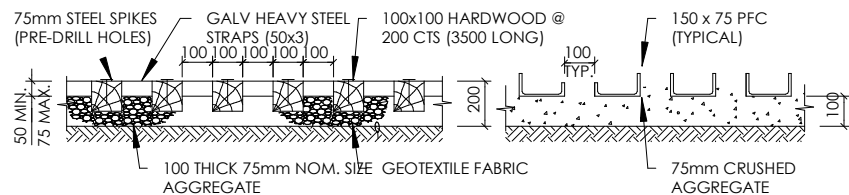
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1 SEDIMENT CONTROL, CONSTRUCTION & WASTE MANAGEMENT PLAN

1 : 200

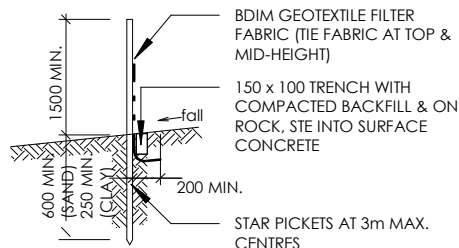


TYPICAL SHAKEDOWN SECTION

THIS DEVICE IS TO BE REGULARLY CLEANED OF DEPOSITED MATERIAL SO AS TO MAINTAIN A 50mm DEEP SPACE BETWEEN PLANKS.

ALTERNATIVE SECTION

GRID MADE FROM FULLY WELDED 150x75 PFC PERIMETER FRAME WITH 150x75 PFC SPACED AT 100mm. LAID ON 100mm THICK BED OF CRUSHED AGGREGATE.



TEMP. SEDIMENT CONTROL FENCE

1. PROVIDE SEDIMENT CONTROL FENCE AT STORMWATER OUTLETS AND DOWNSTREAM BOUNDARIES UNTIL LANDSCAPING, PAVING & TURFING IS COMPLETED.
2. MINIMISE BARE EARTH AND DISTURBED AREAS. ALL BARE SOIL AREAS ARE TO BE PROTECTED FROM EROSION BY TEMPORARY MEASURES AND REVEGETATED AT CESSATION OF CONSTRUCTION.
3. RETURN OR PROTECT AS SOON AS PRACTICABLE.
4. COVER ALL SOIL MOUNDS.
5. PROVIDE LARGE COARSE AGGREGATE SURFACE (100 MIN. DEEP) TO ENTRY AND EXIT AREAS WITH GEOTEXTILE FILTER UNDERLAY.
6. SATISFACTORILY COMPACT ALL BACKFILL.
7. LOCATE ALL DEBRIS IN CATCH AREA BEHIND SEDIMENT FENCE.
8. REGULARLY CHECK AND MAINTAIN ALL SEDIMENT FEATURES.

ALL EROSION PROTECTION MEASURES TO MEET THE REQUIREMENTS OF COUNCIL & DEPT. OF CONSERVATION AND LAND MANAGEMENT.

TEMP. DROP INLET SEDIMENT TRAP

SEDIMENT CONTROL DEVICES

FILTER DAMS ARE TO BE CONSTRUCTED AT ALL DRAINAGE OUTLETS WITHIN THE SITE. THESE DAMS SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS. SILT FENCES SHALL BE CONSTRUCTED AS DETAILED IN THE APPROVED DRAWINGS AROUND ALL DISTURBED AREAS, STOCKPILES AND AS DIRECTED BY THE ENGINEER.

MATERIALS

MATERIALS AND WORKMANSHIP SHALL BE TO THE ENGINEER'S SATISFACTION AND UNLESS OTHERWISE SPECIFIED SHALL CONFORM TO SUCH STANDARD SPECIFICATIONS ISSUED BY THE STANDARDS ASSOCIATION OF AUSTRALIA AS APPLICABLE.

ROCK BREAKERS / HAMMERS

THE USE OF ANY PNEUMATIC BREAKING OR HAMMERING DEVICE IS NOT PERMITTED FOR THE EXCAVATION OF BEDROCK MATERIAL WITHIN 10 METRES OF EXISTING DWELLINGS OR STRUCTURES.

TRANSPORTATION OF MATERIALS

TRANSPORTATION OF MATERIALS AND OF EARTH, SAND, ROAD CONSTRUCTION MATERIAL, LOOSE DEBRIS AND ANY LOOSE MATERIALS TO OR FROM THE SITE WILL BE IN A MANNER THAT WILL PREVENT THE DROPPING OF MATERIAL ON THE SURROUNDING STREETS. LOAD COVERS ARE TO BE USED AT ALL TIMES.

SURVEY MARKS

ADEQUATE PRECAUTIONS ARE TO BE TAKEN TO PROTECT AND PRESERVE ANY SURVEY MARK RELATIVE TO OR AFFECTED BY THE DEVELOPMENT.

EARTHWORKS & CLEARING

DURING THE CLEARING, CARE SHALL BE TAKEN NOT TO DISTURB ANY BENCHMARK, SURVEY OR LEVEL PEG. TOPSOIL IS TO BE REMOVED FROM THE WORKS AREA, STOCKPILED AND REPLACED UPON THE DISTURBED AREAS AT THE COMPLETION OF CONSTRUCTION.

VEGETATION PROTECTION

PRIOR TO AND DURING ANY CONSTRUCTION WORKS THE ROOTS, TRUNKS AND BRANCHES OF ALL VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM POLLUTANTS, MACHINERY, CHEMICAL AND FUEL SPILLAGE, COMPACTION OF SURROUNDING SOILS, LEVEL CHANGES WITHIN THE DRIP LINE, STOCKPILING OF SPOIL, AND STOCKPILING OF BUILDING MATERIALS. PROTECTIVE FENCING OF SUCH VEGETATION SHALL BE UNDERTAKEN AS NECESSARY. VEGETATION TO BE LEFT UNDISTURBED OUTSIDE THE APPROVED WORKS AREA.

LEGEND

- GRAVEL ACCESS
- HARDWOOD CROSSING PROTECTION
- SITE BOUNDARY
- SITE SILT FENCE
- STOCK PILES
- GEOTEXTILE FABRIC FILLED WITH GRAVEL
- SKIP BINS

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- UPDATED SURVEY

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PROJECT
ALTERATIONS & ADDITIONS

DRAWING TITLE
SEDIMENT CONTROL, CONSTRUCTION & WASTE
MANAGEMENT PLAN

SHEET NO: 21 ISSUE: B
SCALE: 1 : 200@A3 JOB NO: 888-1847
DESIGN: DP DRAWN: DP CHECKED BY: EJS

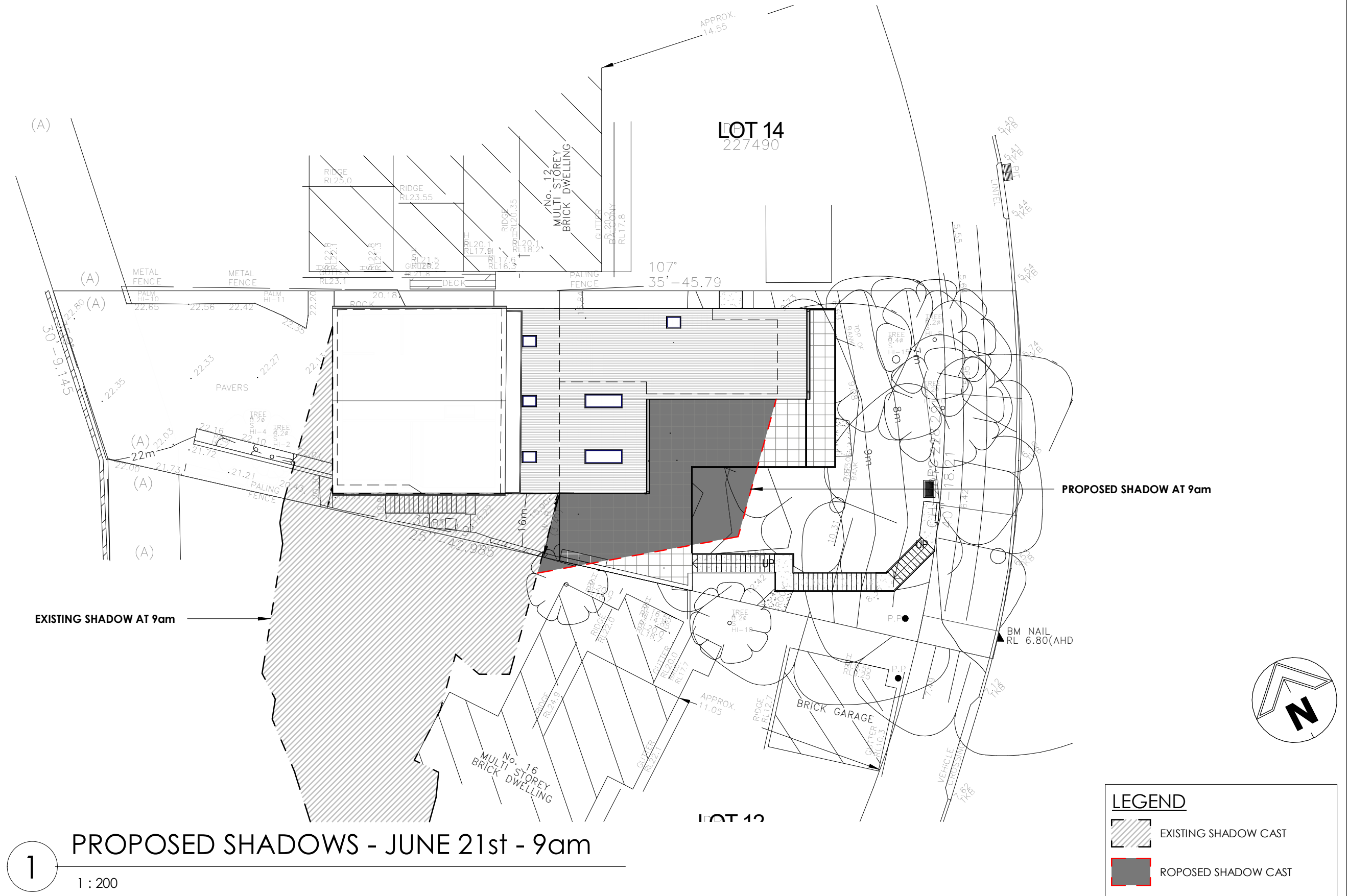
ADDRESS
14 VALLEY RD, PADSTOW
HEIGHTS

PROJECT STATUS
DEVELOPMENT APPLICATION

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1

PROPOSED SHADOWS - JUNE 21st - 9am

1 : 200

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ALTERATIONS & ADDITIONS

DRAWING TITLE
PROPOSED SHADOW DIAGRAM JUNE 21st - 9am

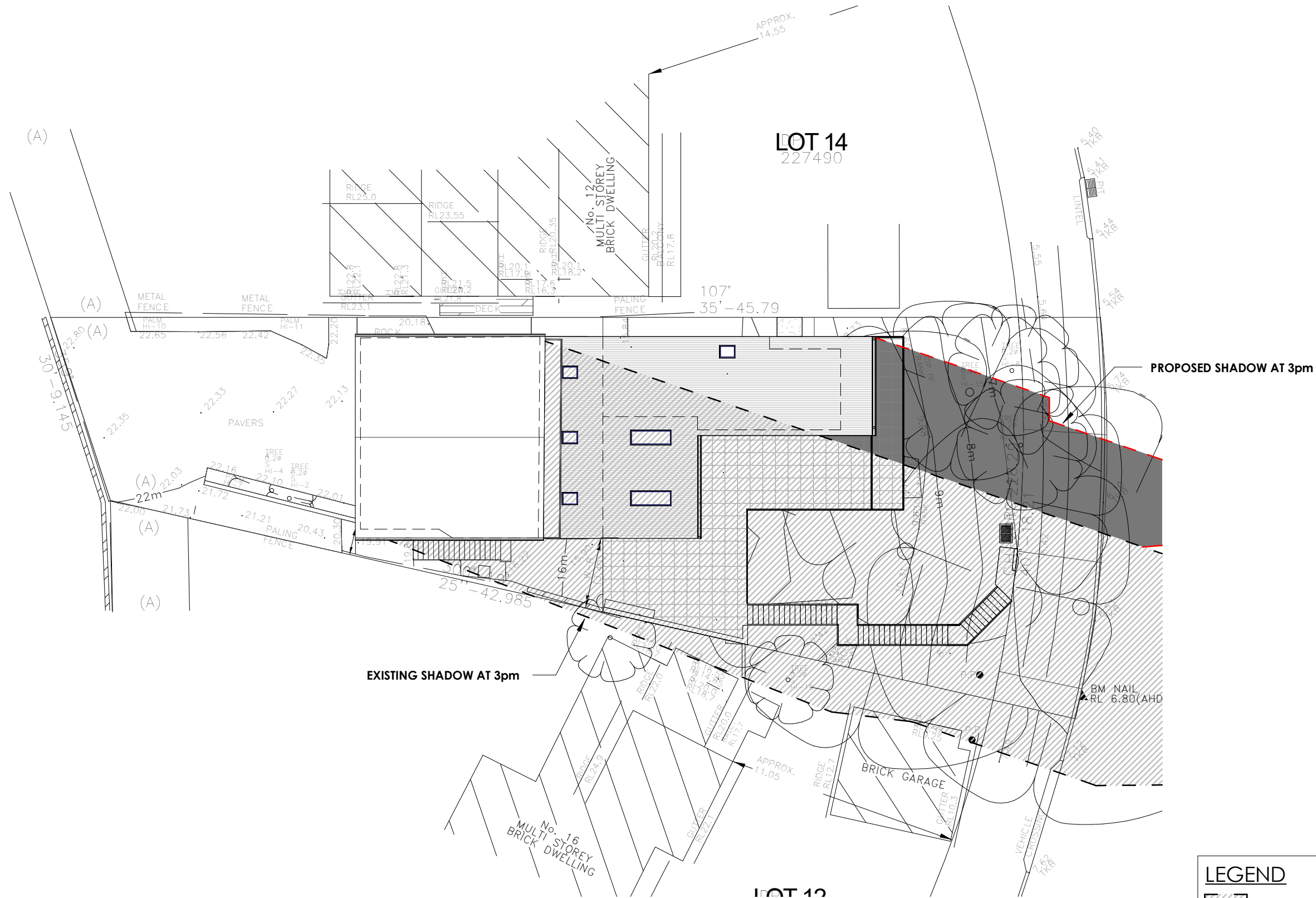
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SHEET NO: **23** ISSUE: **B**
SCALE: **1 : 200@A3** JOB NO: **888-1847**
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1 PROPOSED SHADOWS - JUNE 21st - 3pm
1 : 200

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B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS
A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

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DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED SHADOW DIAGRAM JUNE 21st - 3pm

SHEET NO: 25 ISSUE: B
SCALE: 1 : 200@A3 JOB NO: 888-1847
DESIGN: DP DRAWN: DP CHECKED BY: EJS

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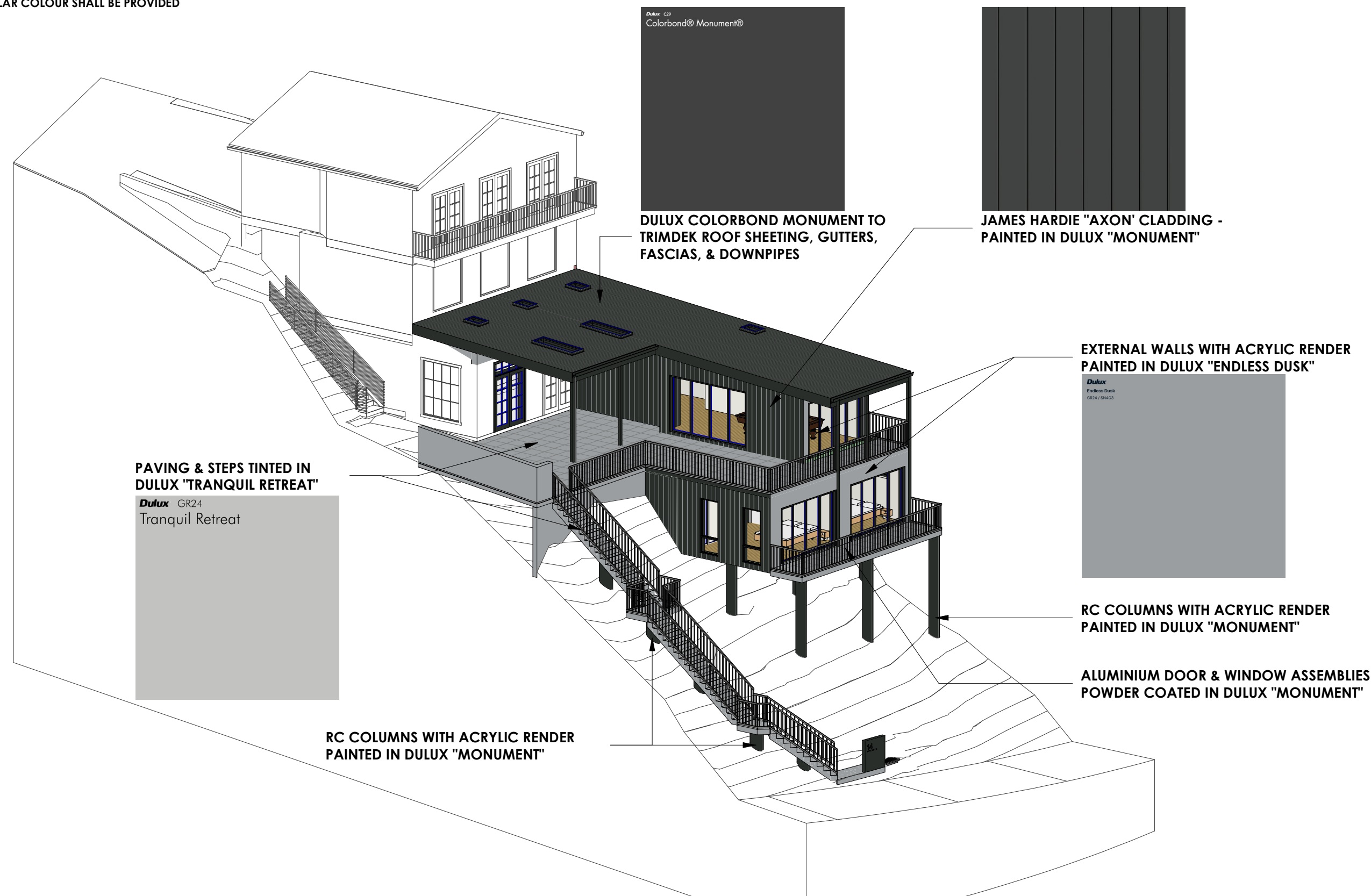
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NOTE:
- COLOURS & TEXTURES MAY VARY BETWEEN SCREEN & PRINT. REFER TO MANUFACTURER'S SPECIFICATION FOR FURTHER DETAILS
- WHERE THE NOMINATED COLOUR IS UNAVAILABLE FOR A SPECIFIC APPLICATION, A SIMILAR COLOUR SHALL BE PROVIDED



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DRAWING TITLE
SCHEDULE OF COLOURS & FINISHES

ADDRESS
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PROJECT STATUS
DEVELOPMENT APPLICATION

SHEET NO: 26
SCALE: 1 : 1@A3
DESIGN: DP
DRAWN: DP
CHECKED BY: EJS
ISSUE: B
JOB NO: 888-1847

B	DEVELOPMENT APPLICATION	02/07/2026	DP	EJS
A	CONCEPT DESIGN - SING-OFF	30/03/2026	DP	EJS
ISSUE	AMENDMENTS	DATE	DRN	CHK

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3D PERSPECTIVES 1

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DRAWING TITLE
PROPOSED 3D Views

ADDRESS
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PROJECT STATUS
DEVELOPMENT APPLICATION

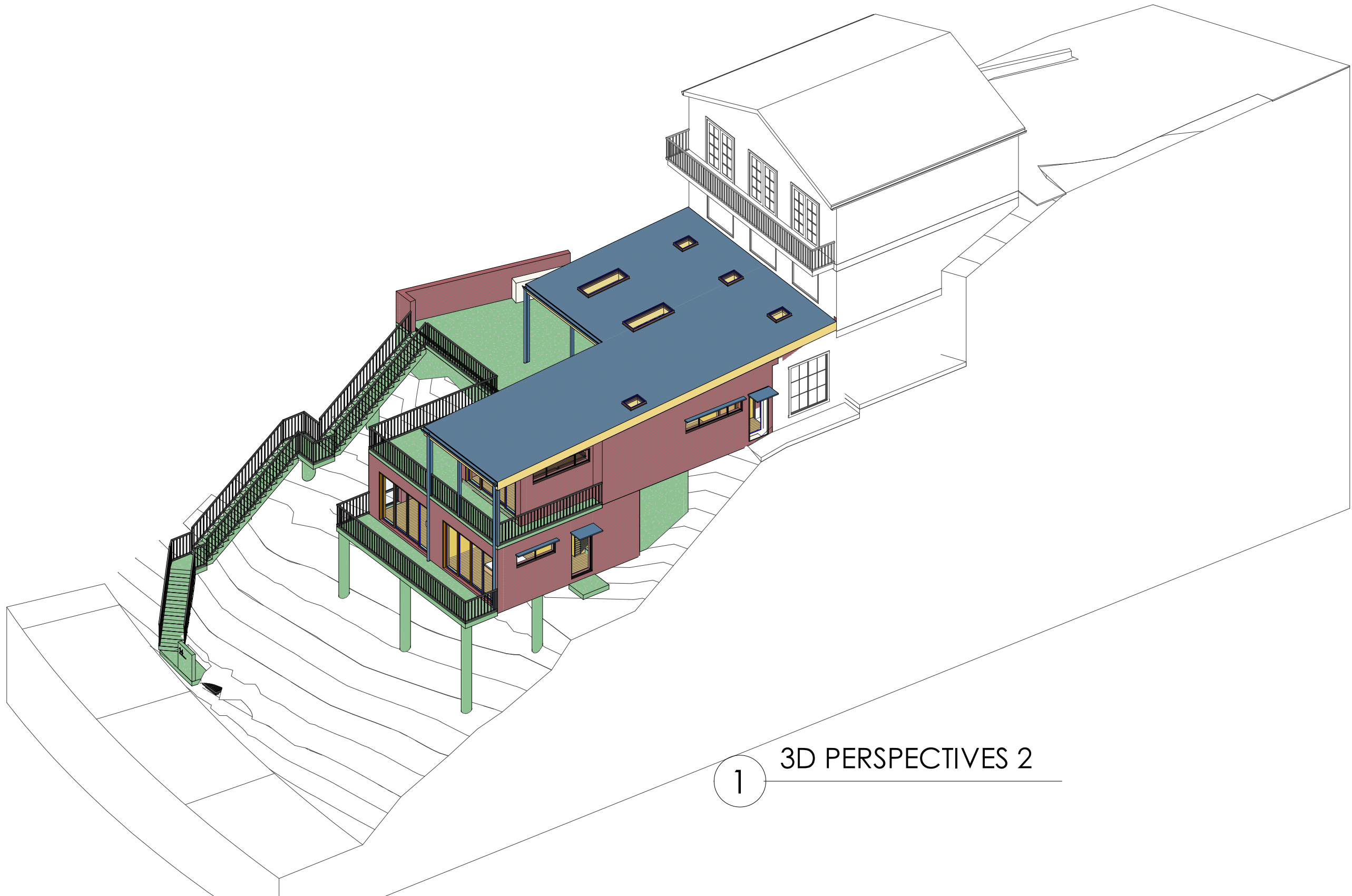
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SCALE: **@A3** JOB NO: **888-1847**
DESIGN: DP DRAWN: DP CHECKED BY: **EJS**

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3D PERSPECTIVES 2

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DEVELOPMENT APPLICATION

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